



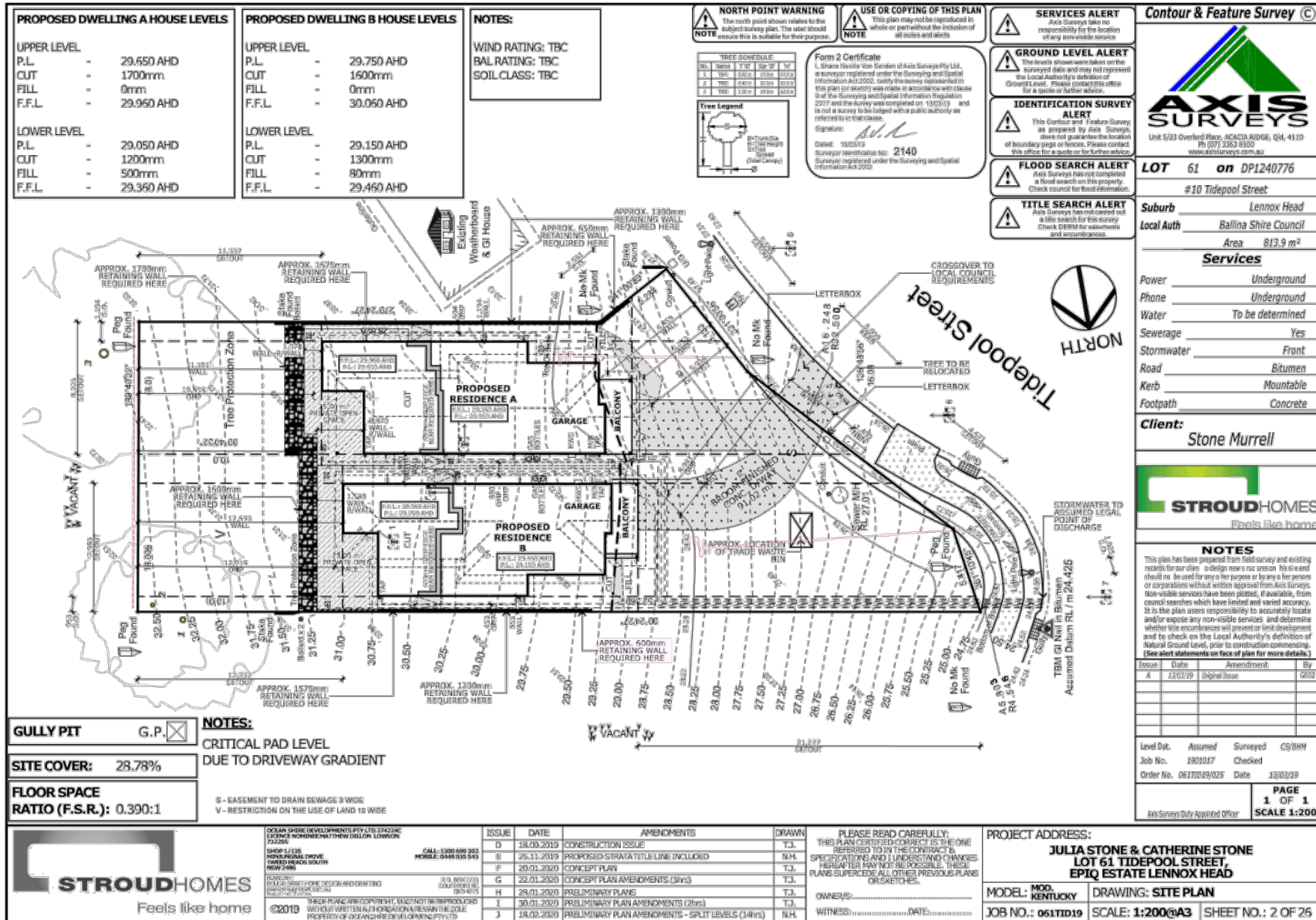
PAGE	NAME
1	COVER PAGE
2	SITE PLAN
3	STRATA TITLE LINE - SITE PLAN
4	GROUND FLOOR PLAN DWELLING A
5	FIRST FLOOR PLAN DWELLING A
6	EXTERNAL ELEVATIONS DWELLING A
7	EXTERNAL ELEVATIONS DWELLING A
8	SECTION DWELLING A
9	SLAB PLAN DWELLING A
10	ELECTRICAL PLAN DWELLING A
11	FLOOR COVERINGS DWELLING A
12	INTERNAL ELEVATIONS DWELLING A
13	INTERNAL ELEVATIONS DWELLING A
14	STANDARD DETAILS DWELLING A
15	GROUND FLOOR PLAN DWELLING B
16	FIRST FLOOR PLAN DWELLING B
17	EXTERNAL ELEVATIONS DWELLING B
18	EXTERNAL ELEVATIONS DWELLING B
19	SECTION DWELLING B
20	SLAB PLAN DWELLING B
21	ELECTRICAL PLAN DWELLING B
22	FLOOR COVERINGS DWELLING B
23	INTERNAL ELEVATIONS DWELLING B
24	INTERNAL ELEVATIONS DWELLING B
25	STANDARD DETAILS DWELLING B
26	SUN STUDY

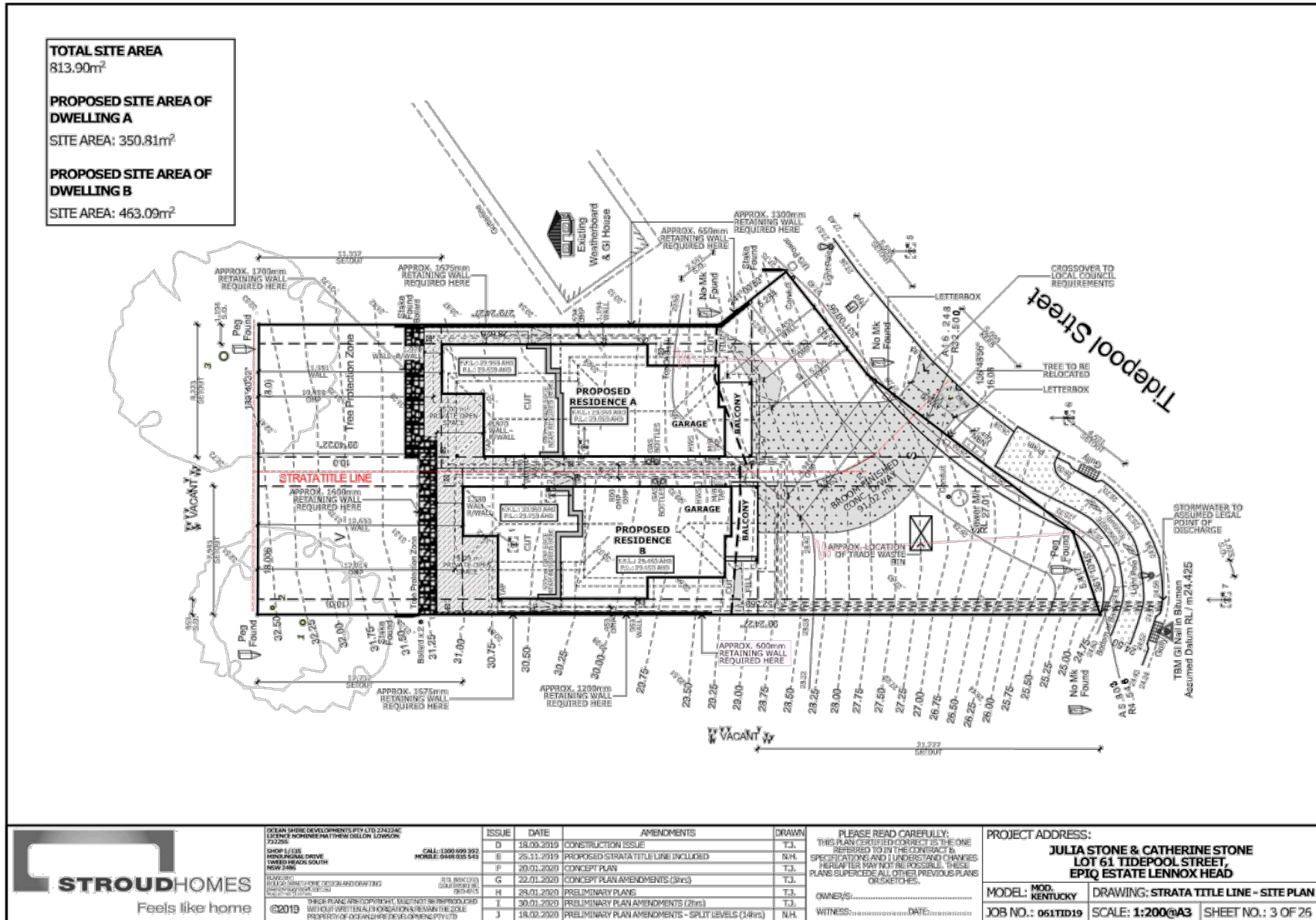
PROPOSED PRELIMINARY PLANS FOR
JULIA STONE & CATHERINE STONE
LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD
JOB NO.: 061TID19

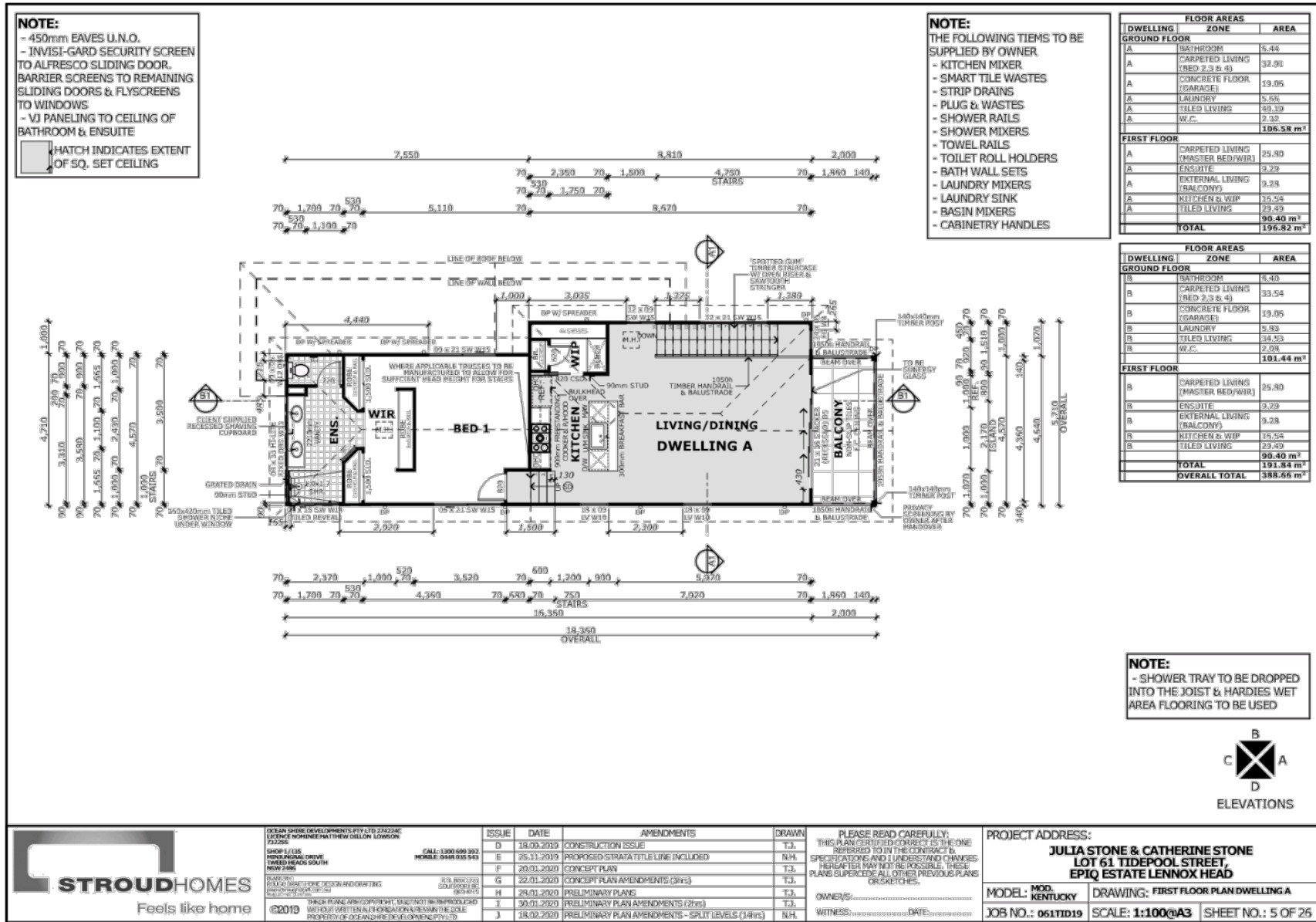


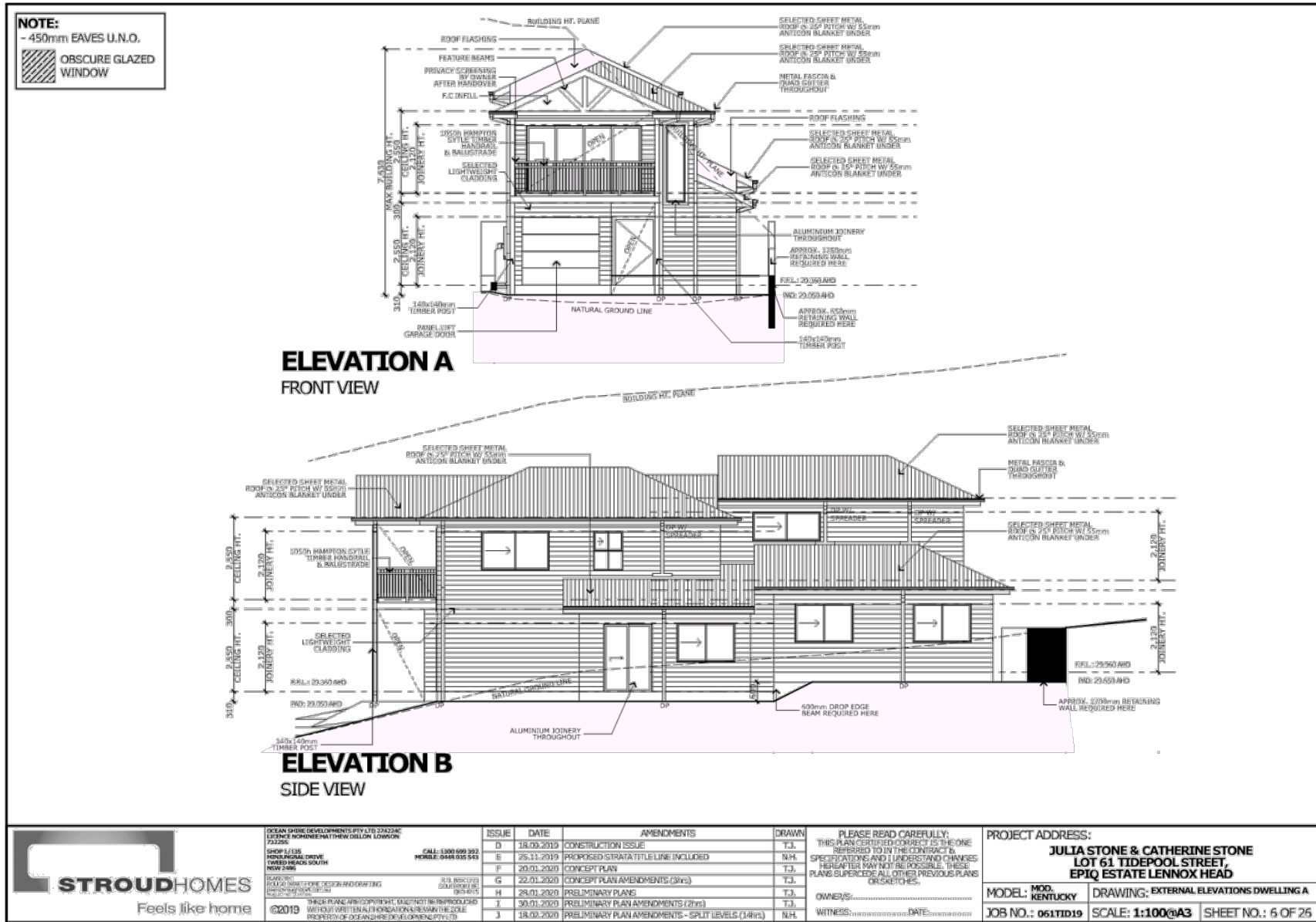


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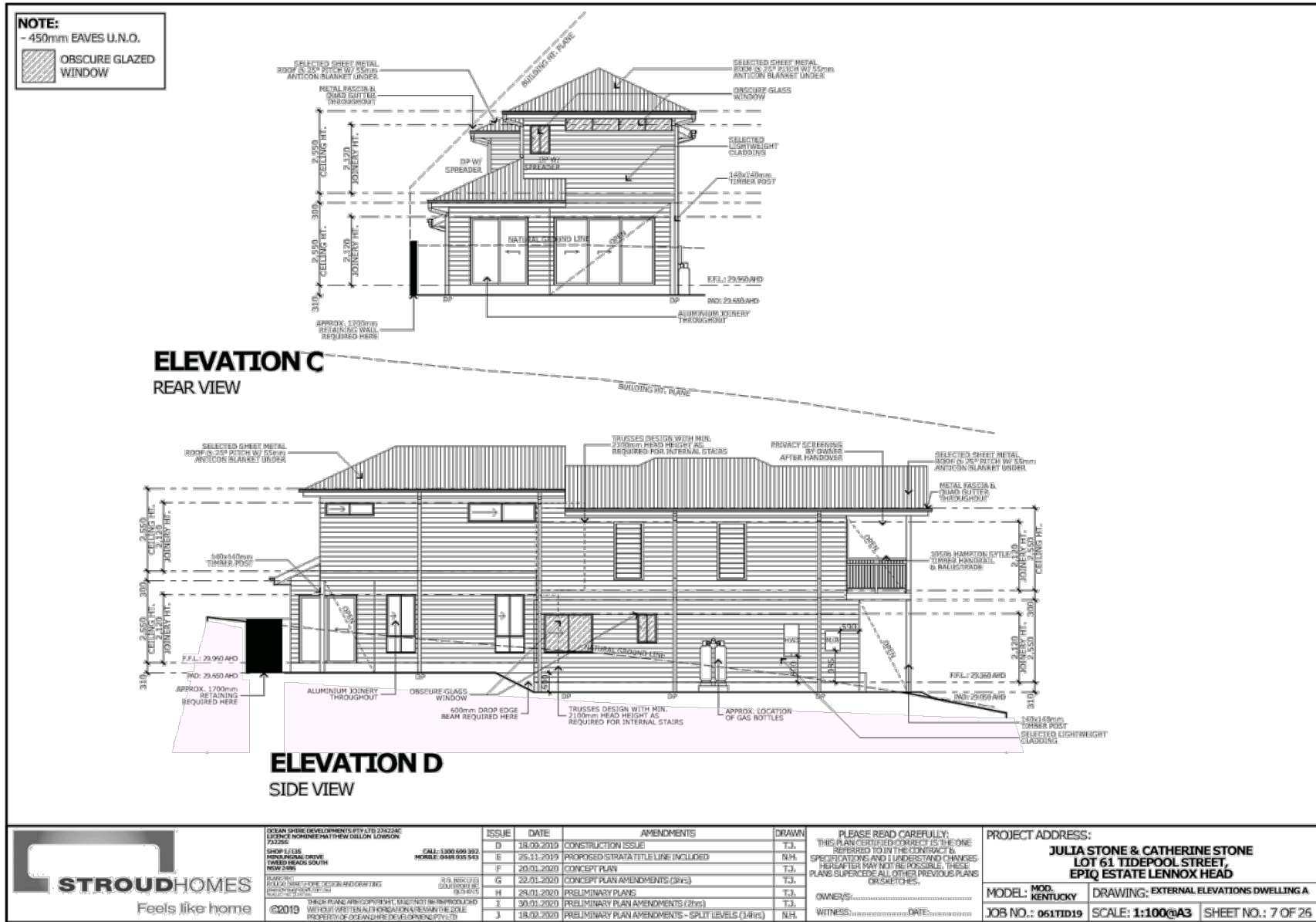
OCEAN SHIRE DEVELOPMENTS PTY LTD 22AC246
LEWNE HOMERIDGE MATTHEW DRILLON LOWSON
722264
50/511/1335
HINDENBURG DRIVE
TIDEPOOL HEADS SOUTH
NSW 2446
BLANK: P/L & SHED HOME DESIGN AND DRAWING
SHEETS BY OCEAN SHIRE DEVELOPMENTS PTY LTD
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WITHOUT WRITTEN AUTHORIZATION AND REMAIN THE SOLE
PROPERTY OF OCEAN SHIRE DEVELOPMENTS PTY LTD

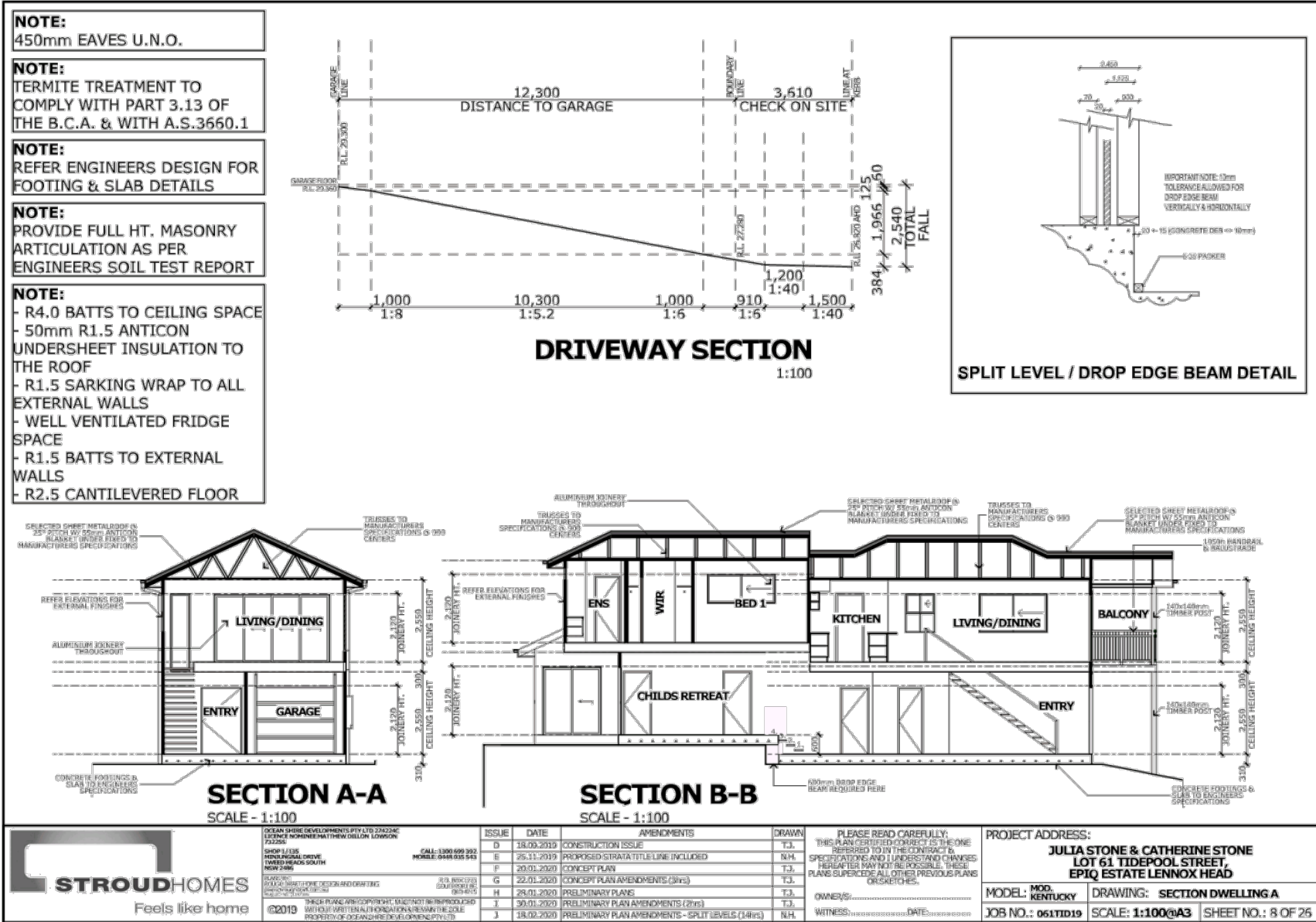
ISSUE	DATE	AMENDMENTS	DRAWN
D	18.09.2019	CONSTRUCTION ISSUE	T.J.
E	25.11.2019	PROPOSED STRATA TITLE LINE INCLUDED	N.H.
F	20.01.2020	CONCEPT PLAN	T.J.
G	22.01.2020	CONCEPT PLAN AMENDMENTS (3/1/20)	T.J.
H	28.01.2020	PRELIMINARY PLANS	T.J.
I	30.01.2020	PRELIMINARY PLAN AMENDMENTS (2/1/20)	T.J.
J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14/1/20)	N.H.

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OWNER/S:.....
WITNESS:.....DATE:.....

PROJECT ADDRESS:
**JULIA STONE & CATHERINE STONE
LOT 61 TIDEPOOL STREET,
EPIQ ESTATE LENNOX HEAD**

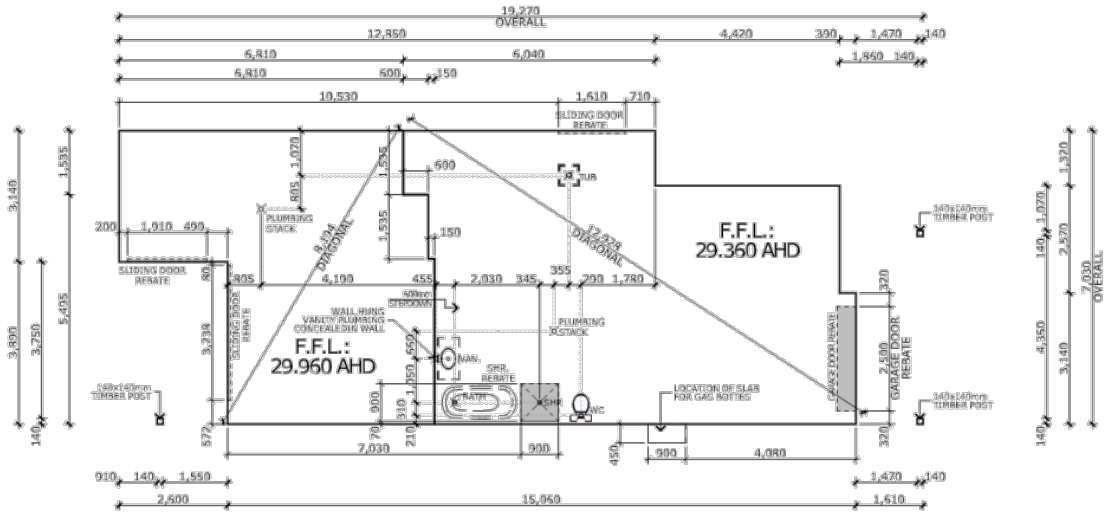
MODEL: MOD. KENTUCKY DRAWING: EXTERNAL ELEVATIONS DWELLING A
JOB NO.: 061TD19 SCALE: 1:100@A3 SHEET NO.: 6 OF 26





8.1 DA 2019/723 - 10 Tidepool Street Lennox Head - Review of Determination

NOTE:
 - BATHROOM, ENSUITE, LAUNDRY FLOORS DO NOT FALL TO WASTE
 - PLUMBER TO CHECK & CONFIRM ALL WASTE POINT LOCATIONS PRIOR TO CONCRETE POUR
 - REFER TO ENGINEERS PLANS

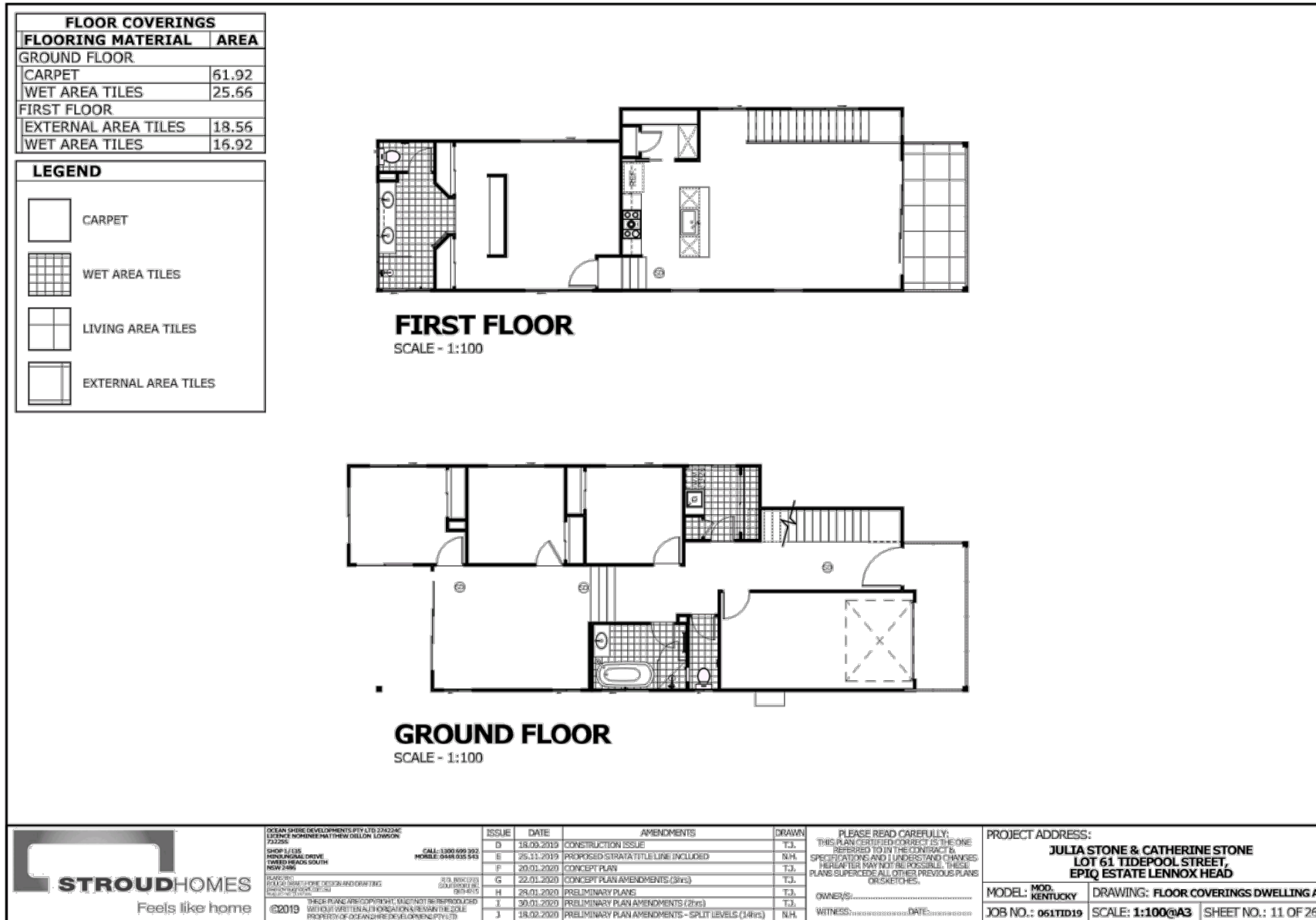


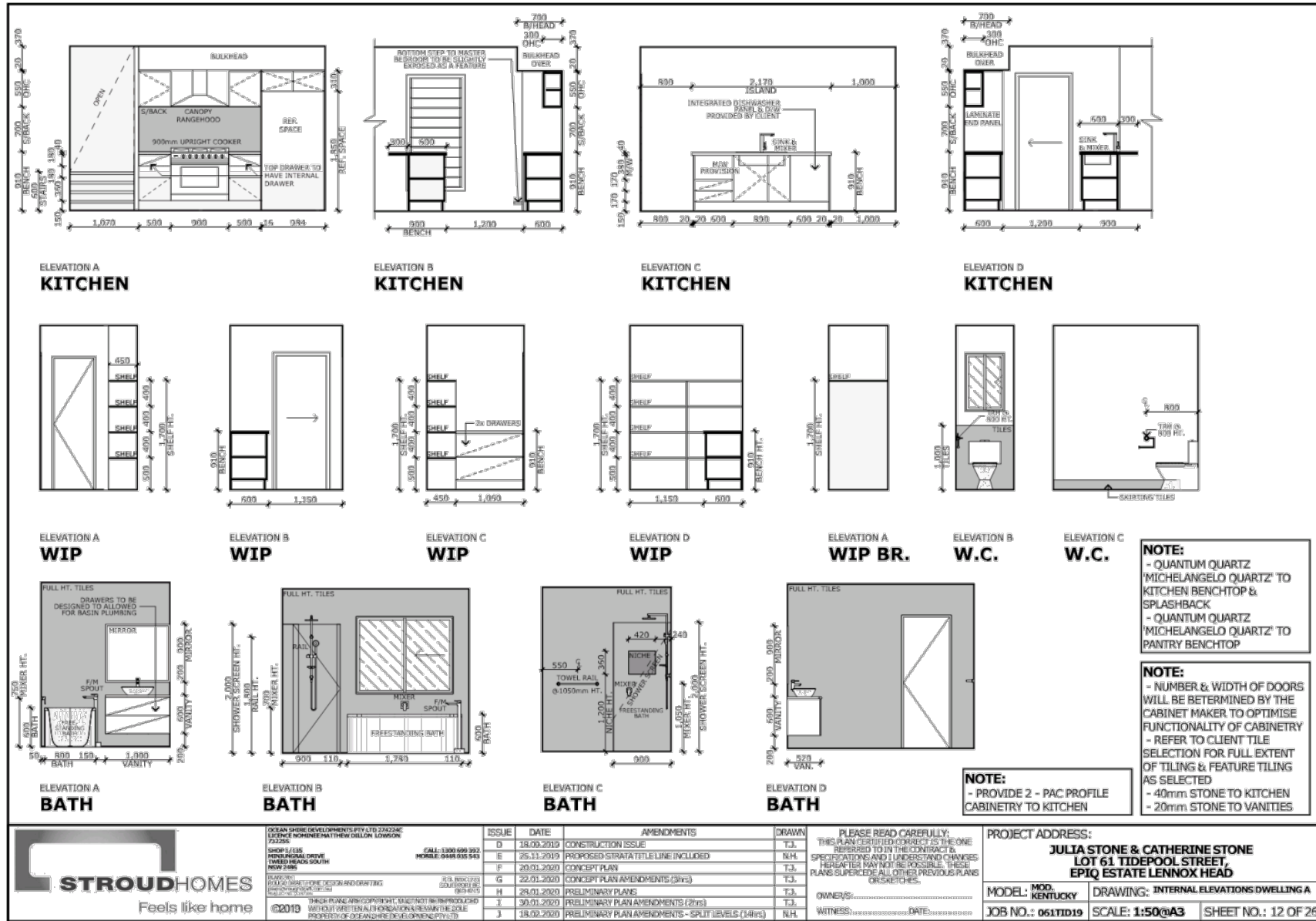
OCEAN SHIRE DEVELOPMENTS PTY LTD 22A/22B
 LICENSE NUMBER 241789 ON 01/01/2019
 22/22B
 SUITE 1/115
 HINDLEIGH DRIVE
 TWEED HEADS SOUTH
 NSW 2486
 CALL: 1300 699 992
 MOBILE: 0418 035 913

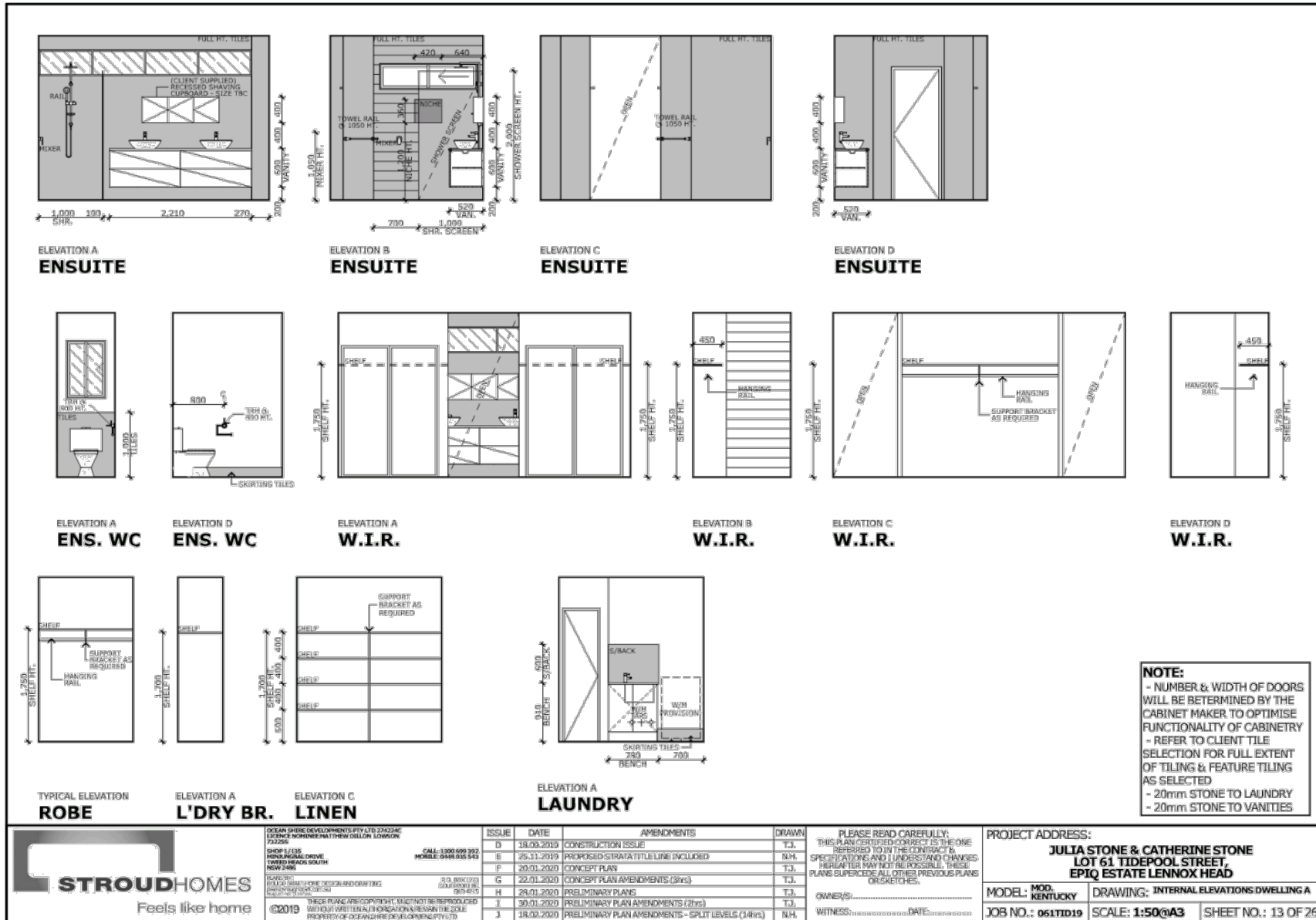
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PROJECT ADDRESS:
JULIA STONE & CATHERINE STONE
LOT 61 TIDEPOOL STREET,
EPIQ ESTATE LENNOX HEAD
 MODEL: MOD. KENTUCKY DRAWING: SLAB PLAN DWELLING A
 JOB NO.: 061TD19 SCALE: 1:100@A3 SHEET NO.: 9 OF 26







NOTE:
SHOWER NICHE'S ARE TO BE
INSTALLED IN A 90MM STUD WALL ONLY

SHOWER NICHE DETAIL
1:20

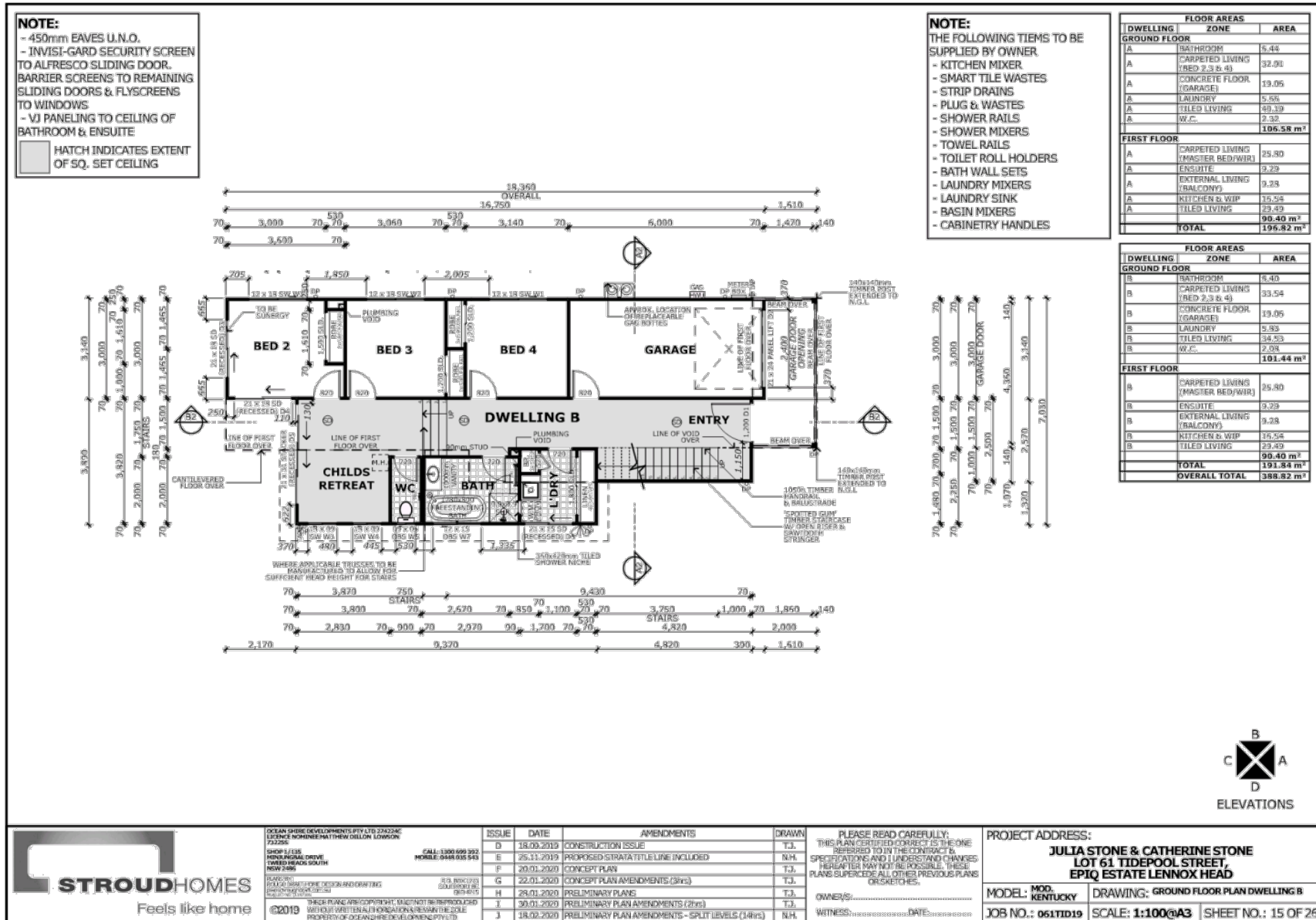
BULKHEAD DETAIL
1:10

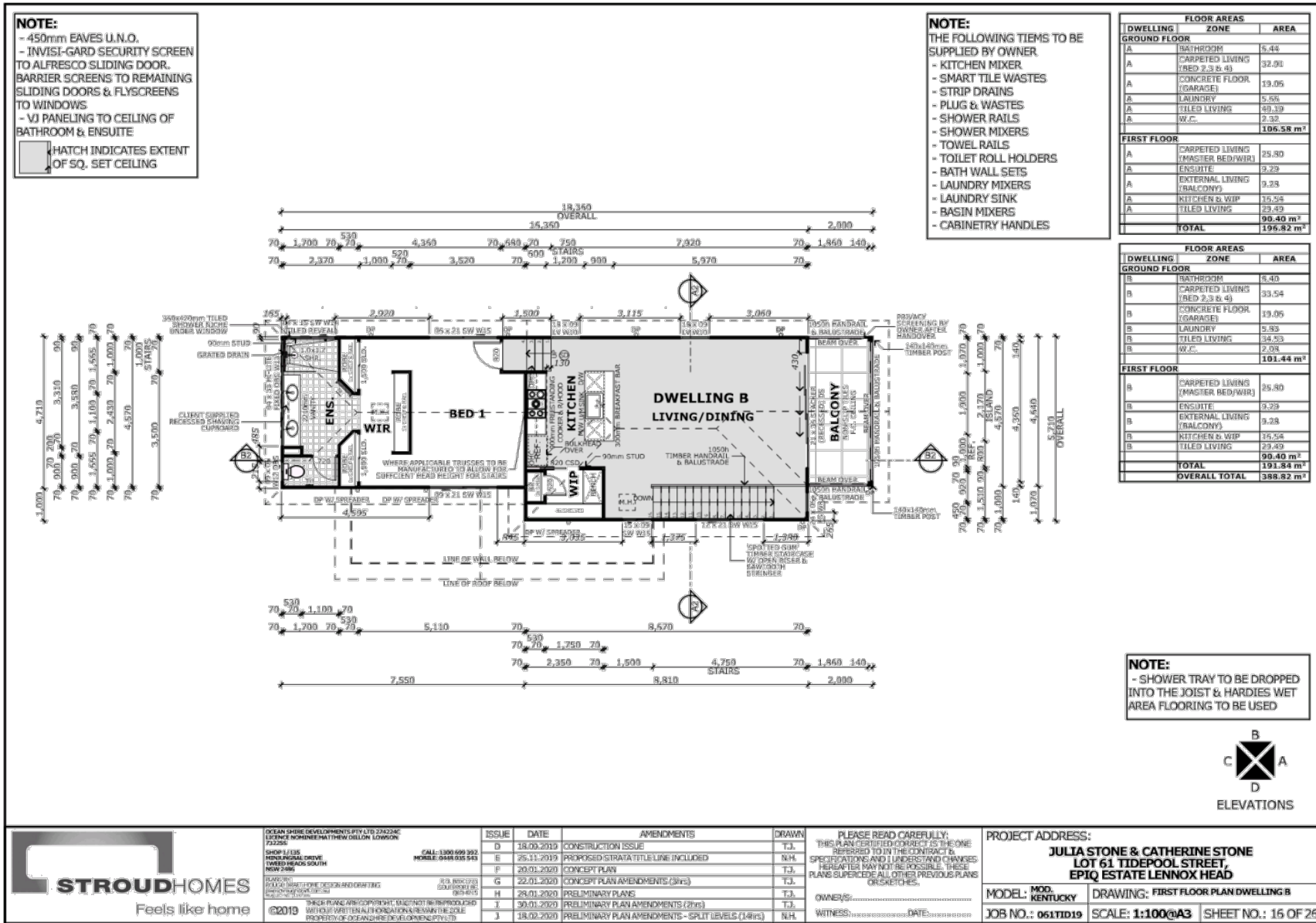
CLADDING EXTERNAL FINISH DETAIL
1:10

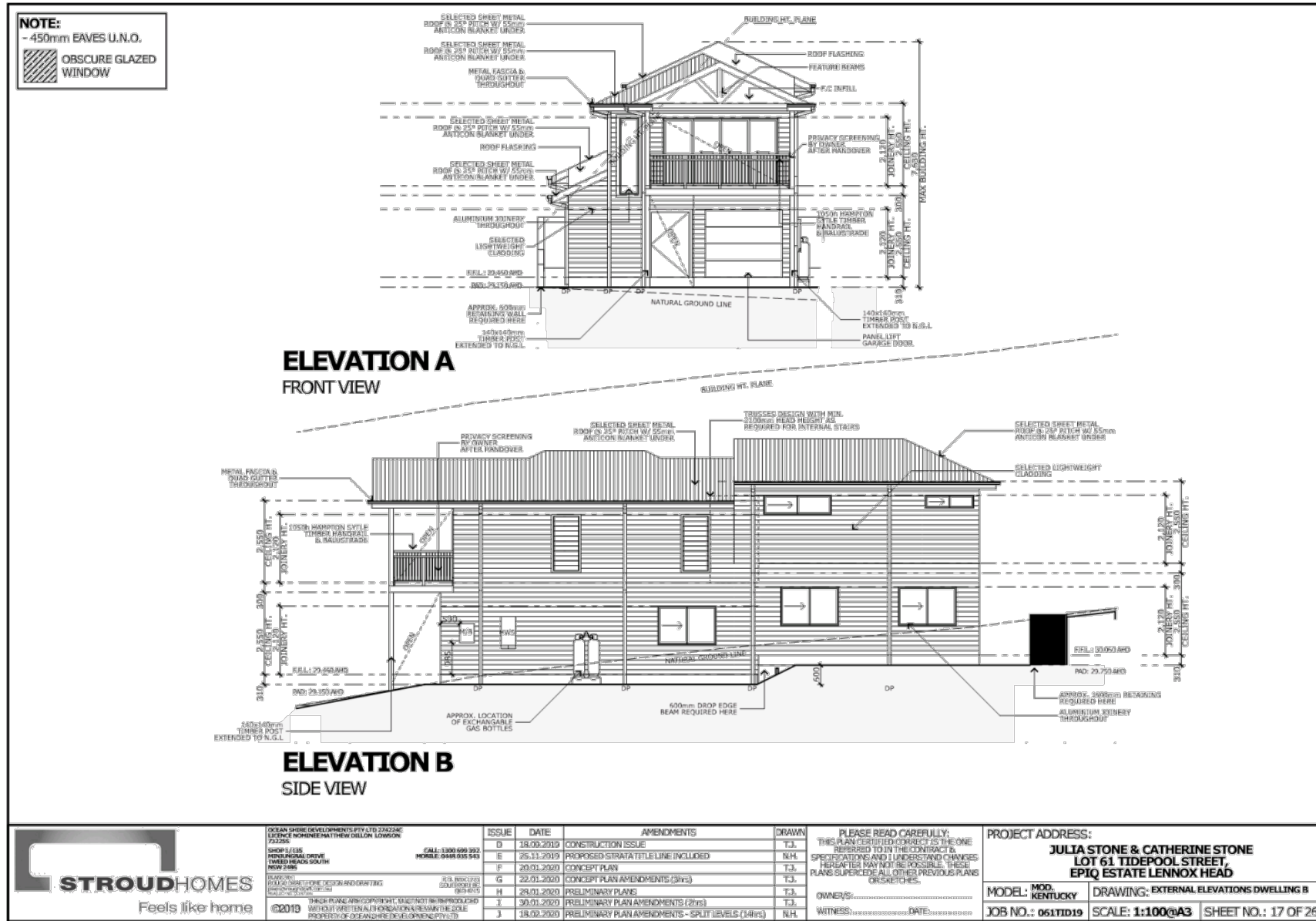
RECESSED SHOWER BASE DETAIL
1:10

STANDARD DETAILS
AS NOTED

<p>STROUDHOMES Feels like home</p>	OCEAN SHIRE DEVELOPMENTS PTY LTD 22AC204E LICENSE NUMBER: 241789 (NEW DESIGN) 10/08/2019 7222561 50/511/1/1/15 HINDLEIGH DRIVE TIDEPOOL HEADS SOUTH NSW 2426 CALL: 1300 699 992 MOBILE: 0418 035 913	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>AMENDMENTS</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>D</td> <td>18.09.2019</td> <td>CONSTRUCTION ISSUE</td> <td>T.J.</td> </tr> <tr> <td>E</td> <td>25.11.2019</td> <td>PROPOSED STRATA TITLE LINE INCLUDED</td> <td>N.H.</td> </tr> <tr> <td>F</td> <td>20.01.2020</td> <td>CONCEPT PLAN</td> <td>T.J.</td> </tr> <tr> <td>G</td> <td>22.01.2020</td> <td>CONCEPT PLAN AMENDMENTS (3) (v3)</td> <td>T.J.</td> </tr> <tr> <td>H</td> <td>28.01.2020</td> <td>PRELIMINARY PLANS</td> <td>T.J.</td> </tr> <tr> <td>I</td> <td>30.01.2020</td> <td>PRELIMINARY PLAN AMENDMENTS (2) (v3)</td> <td>T.J.</td> </tr> <tr> <td>J</td> <td>18.02.2020</td> <td>PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14) (v3)</td> <td>N.H.</td> </tr> </tbody> </table>	ISSUE	DATE	AMENDMENTS	DRAWN	D	18.09.2019	CONSTRUCTION ISSUE	T.J.	E	25.11.2019	PROPOSED STRATA TITLE LINE INCLUDED	N.H.	F	20.01.2020	CONCEPT PLAN	T.J.	G	22.01.2020	CONCEPT PLAN AMENDMENTS (3) (v3)	T.J.	H	28.01.2020	PRELIMINARY PLANS	T.J.	I	30.01.2020	PRELIMINARY PLAN AMENDMENTS (2) (v3)	T.J.	J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14) (v3)	N.H.	PLEASE READ CAREFULLY: THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES. OWNER/S:..... WITNESS:.....DATE:.....	PROJECT ADDRESS: JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD MODEL: MOD. KENTUCKY DRAWING: STANDARD DETAILS DWELLING A JOB NO.: 061TD19 SCALE: 1:50@A3 SHEET NO.: 14 OF 25
	ISSUE	DATE	AMENDMENTS	DRAWN																																
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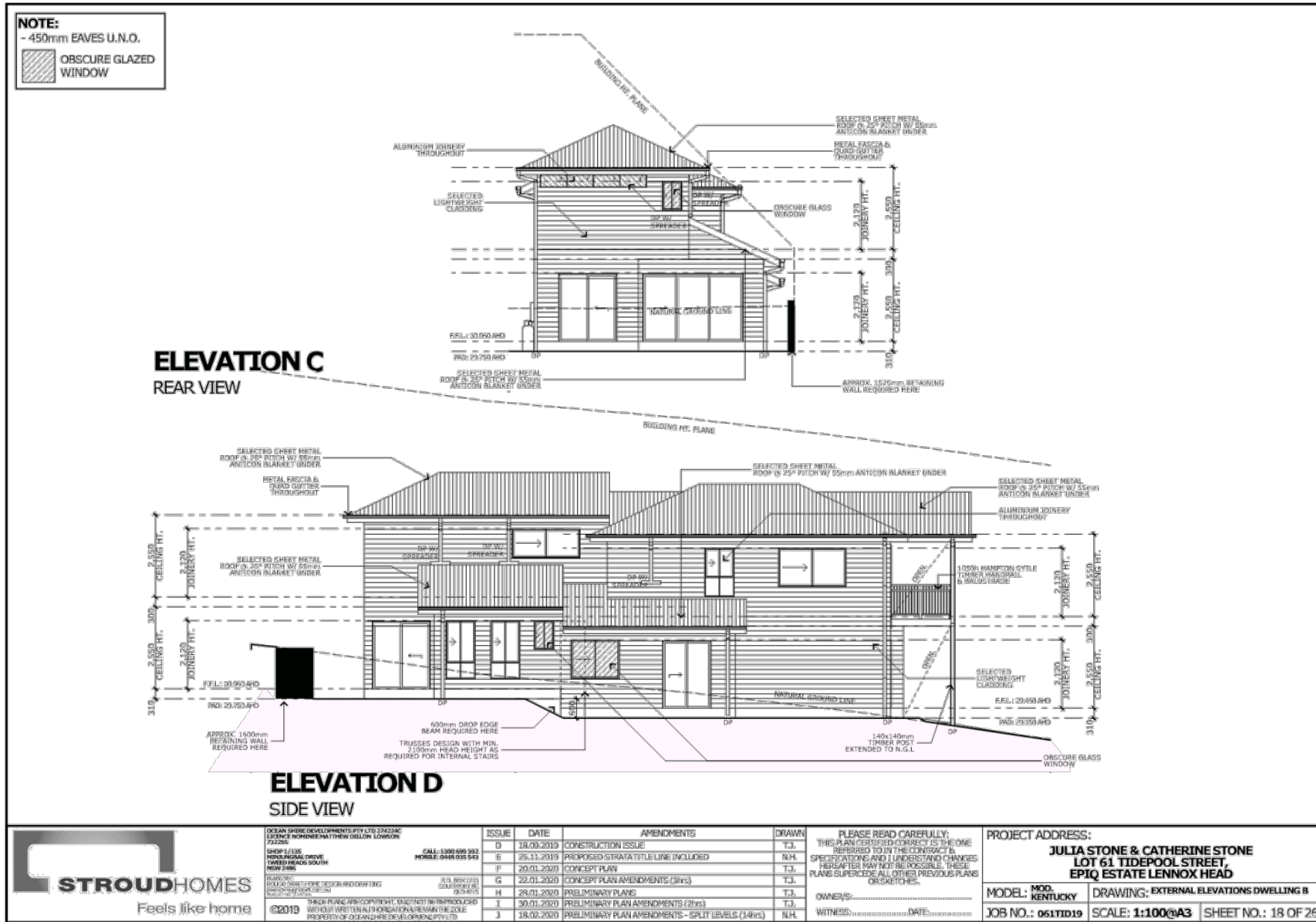
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OWNER/S: DATE:

WITNESS:

PROJECT ADDRESS: JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD	
MODEL: MOD. KENTUCKY	DRAWING: EXTERNAL ELEVATIONS DWELLING B
JOB NO.: 061TD19	SCALE: 1:100@A3 SHEET NO.: 17 OF 25



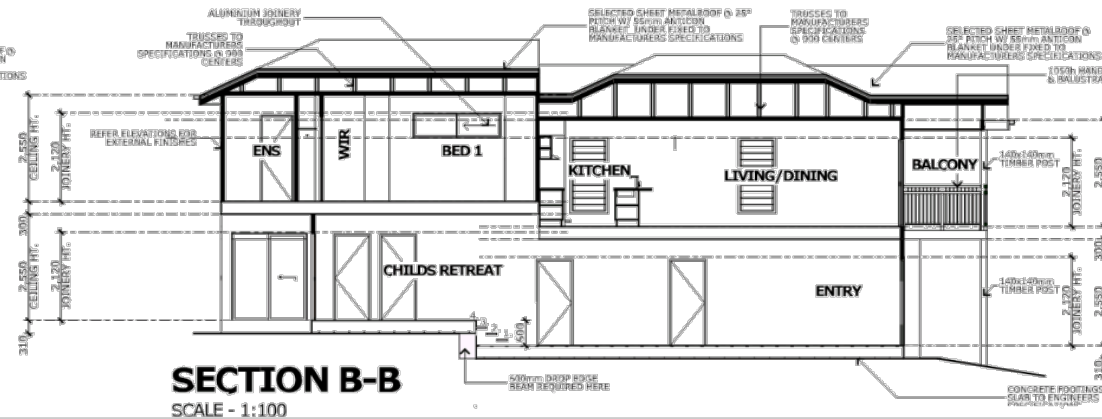
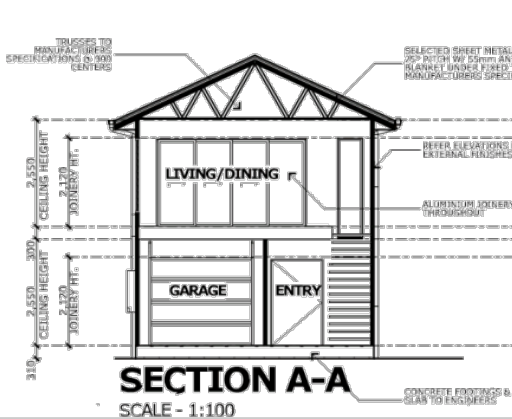
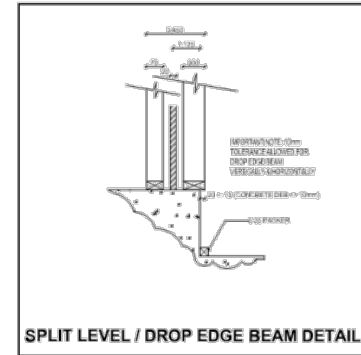
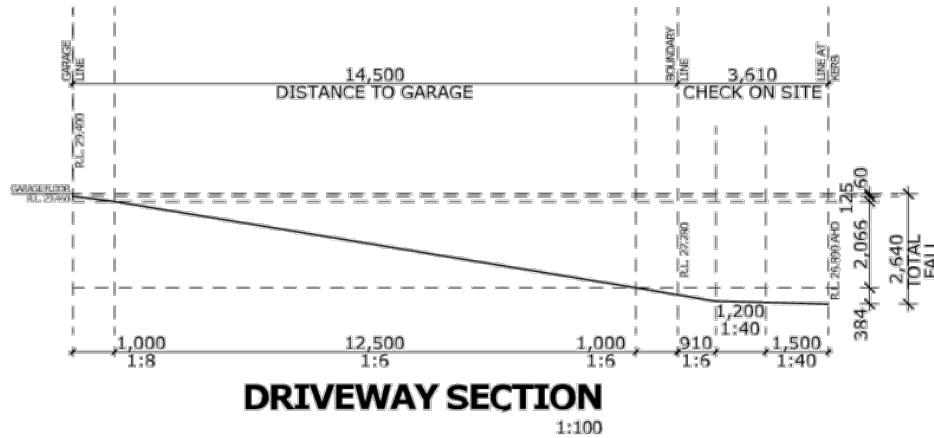
NOTE:
450mm EAVES U.N.O.

NOTE:
TERMITE TREATMENT TO COMPLY WITH PART 3.13 OF THE B.C.A. & WITH A.S.3660.1

NOTE:
REFER ENGINEERS DESIGN FOR FOOTING & SLAB DETAILS

NOTE:
PROVIDE FULL HT. MASONRY ARTICULATION AS PER ENGINEERS SOIL TEST REPORT

NOTE:
- R4.0 BATTS TO CEILING SPACE
- 50mm R1.5 ANTICON UNDERSHEET INSULATION TO THE ROOF
- R1.5 SARKING WRAP TO ALL EXTERNAL WALLS
- WELL VENTILATED FRIDGE SPACE
- R1.5 BATTS TO EXTERNAL WALLS
- R1.5 BATTS TO INTERNAL WALLS AROUND BATH, L'DRY & W/C



STROUDHOMES
Feels like home

OCEAN SHIRE DEVELOPMENTS PTY LTD 22AC24E LICENSE NUMBER: 241789 ON 18/09/2019 722254		CALL: 1300 699 992 MOBILE: 0418 035 913	
SDH1/1/135 PIONEER HILL DRIVE TIDEPOOL HEADS SOUTH NSW 2446	PL/AR/01/2019/001 PL/AR/01/2019/002 PL/AR/01/2019/003 PL/AR/01/2019/004	J.G. BUCKLEY D. COOPER D. COOPER D. COOPER	2019/001 2019/002 2019/003 2019/004
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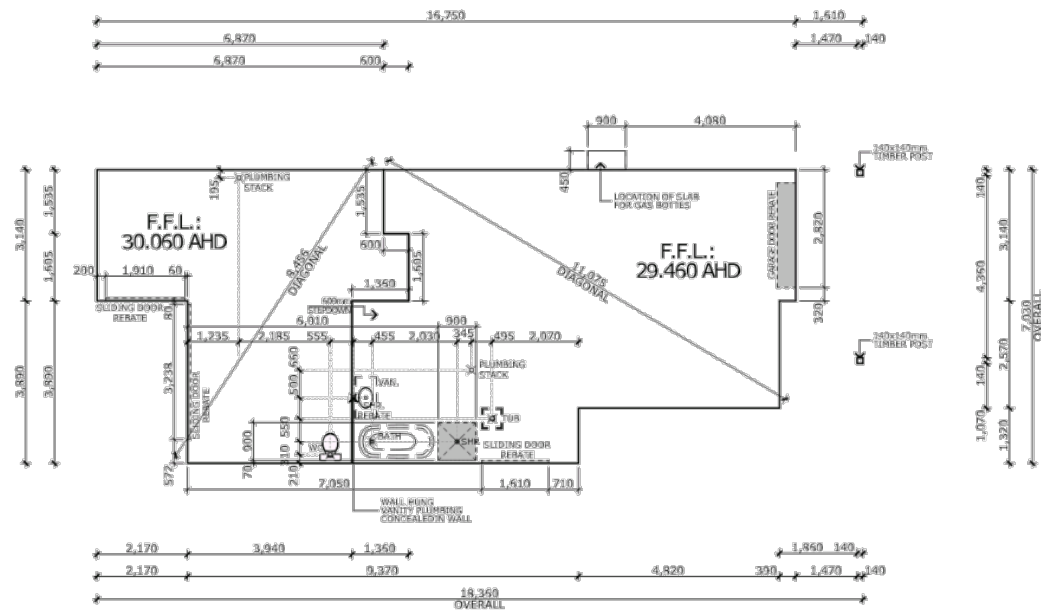
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WITNESS:..... DATE:.....

PROJECT ADDRESS: JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD	
MODEL: MOD. KENTUCKY	DRAWING: SECTION DWELLING B
JOB NO.: 061TD19	SCALE: 1:100@A3 SHEET NO.: 19 OF 25

8.1 **DA 2019/723 - 10 Tidepool Street Lennox Head - Review of Determination**

NOTE:
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 - REFER TO ENGINEERS PLANS




















OCEAN SHIRE DEVELOPMENTS PTY LTD 22AC204E
 LICENSE NUMBER: 241789 ORION LOWSON 722264
 SHOP 1/135 HINDLEBACH DRIVE TIDEPOOL HEADS SOUTH NSW 2426
 CALL: 1300 699 992
 MOBILE: 0448 035 913

ISSUE	DATE	AMENDMENTS	DRAWN
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LOT 61 TIDEPOOL STREET,
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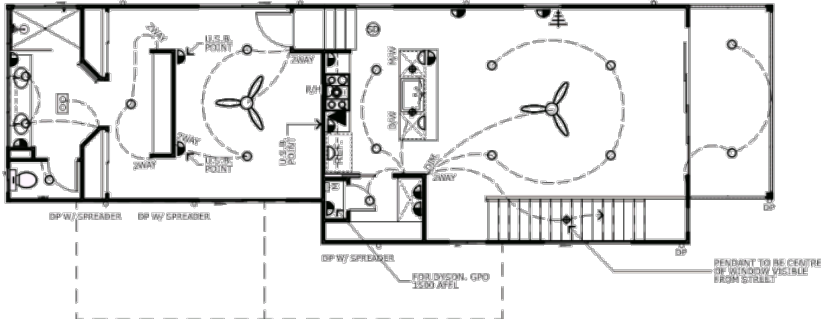
MODEL: MOD. KENTUCKY DRAWING: SLAB PLAN DWELLING B
 JOB NO.: 061TD19 SCALE: 1:100@A3 SHEET NO.: 20 OF 25

ELECTRICAL ITEMS TOTAL [FOR UNIT A & B]		
LIBRARY PART NAME	QUANTITY	2D SYMBOL
CEILING FAN	12	
DATA	2	
MODEM POINT	2	
DOUBLE POWER POINT	38	
DOUBLE STRIP FLURO	2	
DOWNLIGHT	66	
EXHAUST FANS	2	
METER BOX	2	
NBN POINT	2	
PENDANT CEILING LIGHT	6	
PHONE POINT	2	
SENSOR LIGHT UNIT	2	
SINGLE POWER POINT	10	
SINGLE WATERPROOF	2	
SMOKE DETECTOR	3	
T.V. POINT	4	
Tastic - 2 in 1	2	

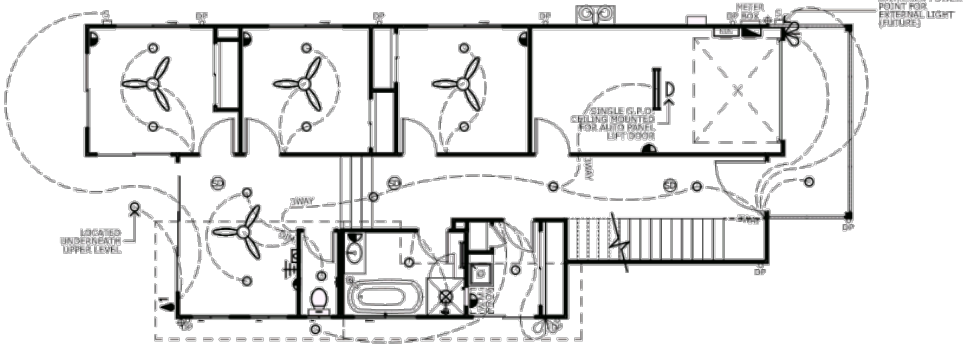
- LIGHT SWITCHES AT 1150mm ABOVE FLOOR LEVEL
 - WALL MOUNTED LIGHTS AT 1800mm ABOVE FLOOR LEVEL
 - POWER OUTLETS AT 300mm ABOVE FLOOR LEVEL (EXCEPT FOR THE FOLLOWING)
 1500 - REFRIGERATOR (REF.)
 1800 - RANGEHOOD (R/H)
 1100 - KITCHEN BENCH
 1000 - GARAGE D.F.P.O.
 1000 - VANITIES
 1000 - LAUNDRY BENCH
 1000 - WASHING MACHINE
 600 - DISHWASHER (D/W)
 600 - MICROWAVE (M/W)

STANDARD INCLUSION
1 x DOUBLE POWER POINT WITH USB CHARGER



NOTE:
POSITION OF LIGHTS ARE INDICATIVE ONLY & WILL BE CONFIRMED BY THE ELECTRICIAN ON SITE

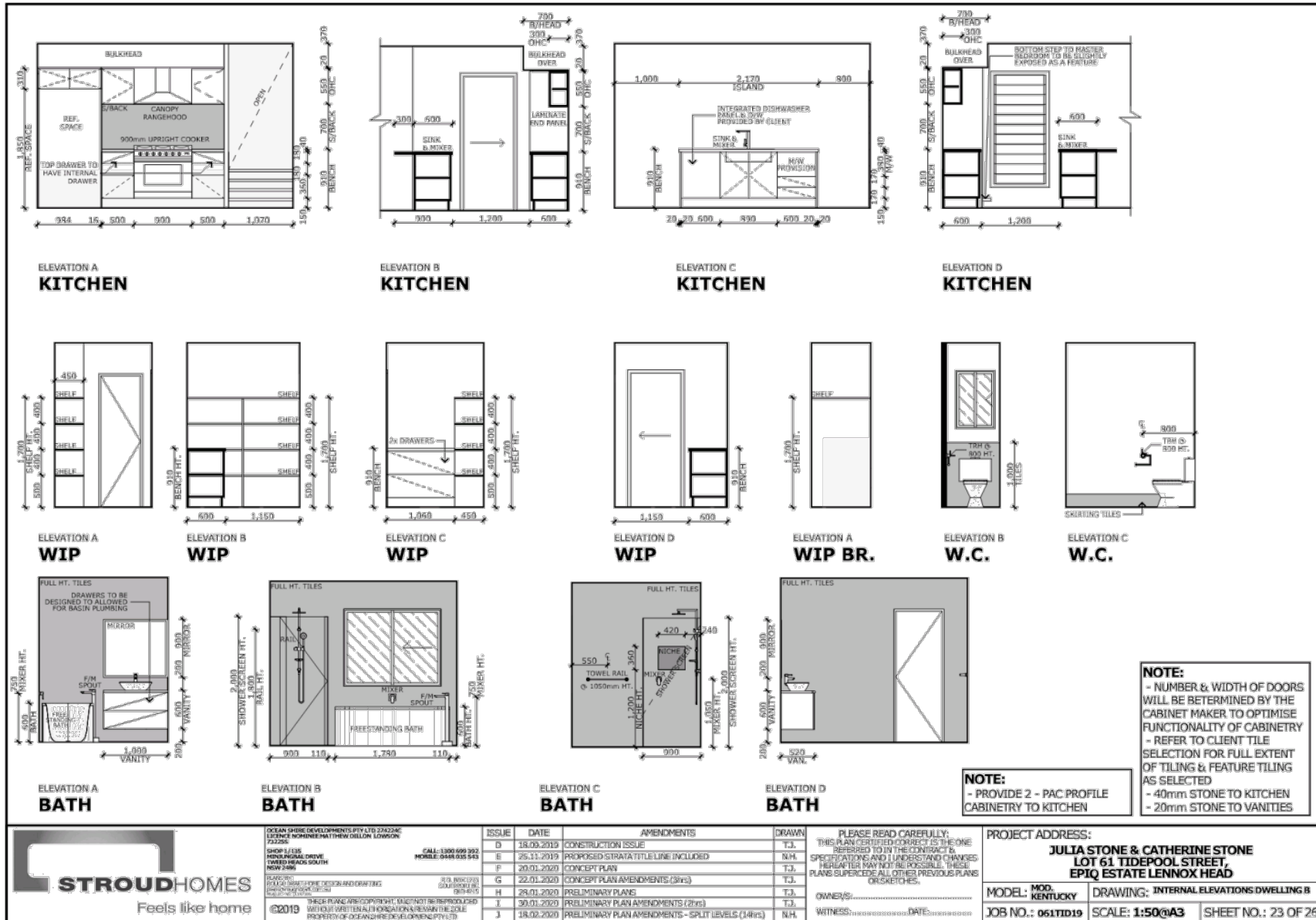


FIRST FLOOR
SCALE - 1:100



GROUND FLOOR
SCALE - 1:100

 <p style="font-size: 10px;">Feels like home</p>	OCEAN SHIRE DEVELOPMENTS PTY LTD 224224E LICENSE NUMBER: 24117891 DILLON LINDSON 72225A 5/15/18 100 WINDMILL DRIVE TWEED HEADS SOUTH NSW 2486 CALL: 1300 699 992 MOBILE: 0448 035 913	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>AMENDMENTS</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>D</td> <td>18.09.2019</td> <td>CONSTRUCTION ISSUE</td> <td>T.J.</td> </tr> <tr> <td>E</td> <td>25.11.2019</td> <td>PROPOSED STRATA TITLE LINE INCLUDED</td> <td>N.H.</td> </tr> <tr> <td>F</td> <td>20.01.2020</td> <td>CONCEPT PLAN</td> <td>T.J.</td> </tr> <tr> <td>G</td> <td>22.01.2020</td> <td>CONCEPT PLAN AMENDMENTS (3hrs)</td> <td>T.J.</td> </tr> <tr> <td>H</td> <td>28.01.2020</td> <td>PRELIMINARY PLANS</td> <td>T.J.</td> </tr> <tr> <td>I</td> <td>30.01.2020</td> <td>PRELIMINARY PLAN AMENDMENTS (2hrs)</td> <td>T.J.</td> </tr> <tr> <td>J</td> <td>18.02.2020</td> <td>PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)</td> <td>N.H.</td> </tr> </tbody> </table>	ISSUE	DATE	AMENDMENTS	DRAWN	D	18.09.2019	CONSTRUCTION ISSUE	T.J.	E	25.11.2019	PROPOSED STRATA TITLE LINE INCLUDED	N.H.	F	20.01.2020	CONCEPT PLAN	T.J.	G	22.01.2020	CONCEPT PLAN AMENDMENTS (3hrs)	T.J.	H	28.01.2020	PRELIMINARY PLANS	T.J.	I	30.01.2020	PRELIMINARY PLAN AMENDMENTS (2hrs)	T.J.	J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.	PLEASE READ CAREFULLY: THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES. OWNER/S:..... WITNESS:..... DATE:.....	PROJECT ADDRESS: JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD MODEL: MOD. KENTUCKY DRAWING: ELECTRICAL PLAN DWELLING B JOB NO.: 061TD19 SCALE: 1:100@A3 SHEET NO.: 21 OF 25
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OCEAN SHIRE DEVELOPMENTS PTY LTD 22A/22B LEWIS ROAD NORTH BRISBANE QLD 4000 722264		ISSUE	DATE	AMENDMENTS	DRAWN
SHEP 1/135 PINDARAVILLE DRIVE TIDEPOOL HEADS SOUTH NSW 2446		D	18.09.2019	CONSTRUCTION ISSUE	T.J.
CALL: 1300 699 992 MOBILE: 0418 035 913		E	25.11.2019	PROPOSED STRATA TITLE LINE INCLUDED	N.H.
BLANK: PROJECT INFORMATION DESIGN AND DRAWING SHEP 1/135 (SHEP 1/135) SHEP 1/135		F	20.01.2020	CONCEPT PLAN	T.J.
©2019 THESE PLANS ARE COPYRIGHT. MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORIZATION FROM THE CLIENT. PROPERTY OF OCEAN SHIRE DEVELOPMENTS PTY LTD		G	22.01.2020	CONCEPT PLAN AMENDMENTS (3hrs)	T.J.
		H	28.01.2020	PRELIMINARY PLANS	T.J.
		I	30.01.2020	PRELIMINARY PLAN AMENDMENTS (2hrs)	T.J.
		J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.

PLEASE READ CAREFULLY: THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERSEDE ALL OTHER PREVIOUS PLANS OR SKETCHES.		PROJECT ADDRESS:
OWNER/S:.....		JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIP ESTATE LENNOX HEAD
WITNESS:.....DATE:.....		MODEL: MOD. KENTUCKY DRAWING: INTERNAL ELEVATIONS DWELLING B
		JOB NO.: 061TD19 SCALE: 1:50@A3 SHEET NO.: 23 OF 25

NOTE:
SHOWER NICHE'S ARE TO BE
INSTALLED IN A 90MM STUD WALL ONLY

SHOWER NICHE DETAIL
1:20

SQ. SET HAMPERS 1:10
2440/2590MM HIGH CEILINGS
BULKHEAD DETAIL
1:10

**CLADDING EXTERNAL
FINISH DETAIL**
1:10

**RECESSED SHOWER
BASE DETAIL**
1:10

STANDARD DETAILS
AS NOTED

ISSUE	DATE	AMENDMENTS	DRAWN
D	18.09.2019	CONSTRUCTION ISSUE	T.J.
E	25.11.2019	PROPOSED STRATA TITLE LINE INCLUDED	N.H.
F	20.01.2020	CONCEPT PLAN	T.J.
G	22.01.2020	CONCEPT PLAN AMENDMENTS (3) (v3)	T.J.
H	28.01.2020	PRELIMINARY PLANS	T.J.
I	30.01.2020	PRELIMINARY PLAN AMENDMENTS (2) (v3)	T.J.
J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14) (v3)	N.H.

PLEASE READ CAREFULLY:
THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES.

OWNER/S:

WITNESS:

PROJECT ADDRESS:
JULIA STONE & CATHERINE STONE
LOT 61 TIDEPOOL STREET,
EPIQ ESTATE LENNOX HEAD

MODEL: MOD. KENTUCKY
DRAWING: STANDARD DETAILS DWELLING B

JOB NO.: 061TD19
SCALE: 1:50@A3
SHEET NO.: 25 OF 25



DAP Assessment Report

File Reference	DA 2019/723
Applicant	Ocean Shire Developments
Property	Lot: 61 DP: 1240776, 10 Tidepool Street LENNOX HEAD
Proposal	Construction of two dwellings and associated earthworks and retaining walls to create a Detached Dual Occupancy development and Strata subdivision as depicted in plans by Stroud Homes Project No. 161TID19
Effect of Planning Instrument	The land is zoned R3 – Medium Density Residential under the provisions of the Ballina Local Environmental Plan (BLEP) 2012 and affected by Development Control Plan (DCP) 2012
Locality Plan	The subject land is depicted on the locality plan below



Locality Plan

Purpose of Report

The application has been referred to the Development Assessment Panel for a recommendation to the Division Manager as a result of non-compliances with the Ballina Shire Development Control Plan 2012 with a subsequent recommendation of refusal.

The purpose of this report is to provide information to the Development Assessment Panel to enable a collaborative assessment by additional officers of matters relating to the recommendation for refusal.

This report is to be read in conjunction with the assessment that has been carried out in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

Introduction

Council has received a Development Application from Ocean Shire Developments (Stroud Homes), for Construction of two dwellings and associated earthworks and retaining walls to create a Detached Dual Occupancy development and Strata subdivision.

An assessment of the application under BLEP and DCP has determined that the proposal does not meet the following objectives of Chapter 4 of the DCP:

- Element C – Building Envelopes, and
- Element I – Overlooking and Privacy, and
- Element J – Solar Access

Previous requests have been made by Council for the applicant to consider the design of the proposed dwellings with the aim of the applicant providing a design that takes the sloping nature of the allotment more fully into consideration and reduce the shadowing impacts.

Reportable political donations

Details of known reportable political donations are as follows:

Nil

Applicable Planning Instruments

- Ballina Local Environmental Plan 2012
- Ballina Shire Development Control Plan 2012

Public exhibition and relevant objector details

The application was not required to be displayed on public exhibition and it was not neighbour notified.

Summary of issues raised with any objections/issues of non-compliance

To date no objections or submissions have been received by Council.

Assessment officer report / relevant photographs

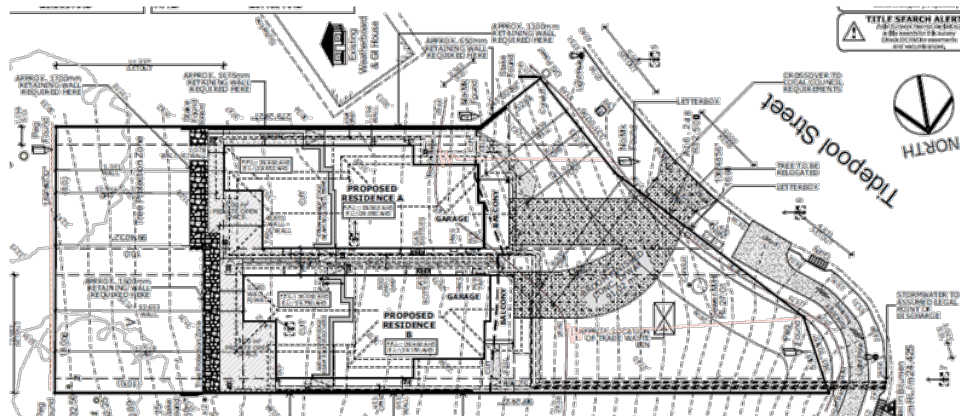
(Note: Officer's EPAA Section 4.15 Evaluation report also attached)

The Proposal

The proposal is for the construction of two detached predominantly rectangular shaped two-storey dwellings and associated earthworks and retaining walls.

The dwellings are to be 1800mm apart and setback 6859mm from the street boundary at the closest point. The northern most dwelling is setback in excess of 10.0 from the street boundary.

Each dwelling has a 600mm step within the slabs and they are oriented to run generally parallel with the side boundaries in a predominantly east/west direction.



Site plan



Front perspective view

The Site

The lot is currently vacant and is a relatively rectangular lot apart from the street frontage that is on an acute angle.

The lot has an area of 814m². The buildable area is reduced by a 10m x 10m Tree Protection Zone located on the north-east corner.

The lot slopes moderately to steeply downward from the rear towards the western street boundary.

The Locality

Existing development in the locality general comprises residential buildings being single dwellings and dual occupancies of one and two-storey construction as shown in the aerial image below.

The adjoining property to the south is a two storey dwelling of generally rectangular shape oriented to run in a south-east/north-west direction.

Relevant issues identified during S4.15 assessment**Element C Building Envelopes –****Objectives**

- i. *Ensure buildings are set back progressively from the side and rear boundaries as building height increases so that buildings do not unduly affect existing or future development on adjoining properties by way of overshadowing, impinging on privacy, or unreasonably obstructing views –*
- ii. *Ensure that the occupants of residential accommodation have the opportunity to enjoy the optimum use of winter sunlight –*
- iii. *Enhance opportunities for solar access to both the development site and adjoining properties –*
- iv. *Achieve varied and interesting streetscapes, good orientation of residential developments with regard to sun, shade, wind and neighbouring development, and effective use of allotments to create usable private open space and courtyards –*
- v. *Ensure that buildings are compatible with the bulk, scale and character of the locality*
- vi. *Minimise adverse impacts on the existing or future amenity of adjoining properties and the scenic or landscape quality of the locality, and*
- vii. *To provide flexibility for steeply sloping to best address streetscape, solar orientation and location for outdoor amenity areas.*

The subject allotment is bounded to the south by a residential allotment which contains an existing two storey dwelling.

The proposed development breaches the building envelope on the southern boundary by approximately 1.8m. Shadowing diagrams provided by the applicant indicate substantial shadowing on adjoining property to the south. Refer to images below.

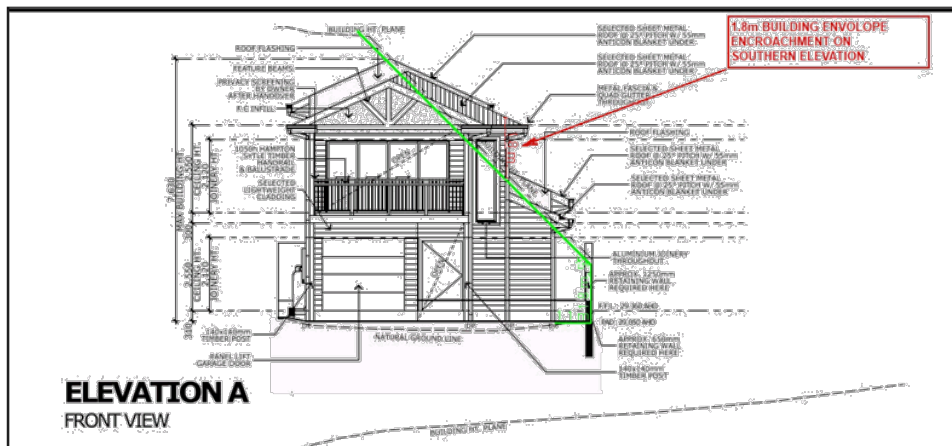
Should the proposed development be approved in its current form, a shadow shall be cast on the dwelling on the adjoining allotment to the south. The shadow cast shall be cast on both living area and bedroom windows for extended periods of time.

The proposed development also casts shadows on habitable areas, other than bedrooms, on the southern dwelling on the development lot (Dwelling A). This is envisaged to be severe with the ground floor children's retreat and first floor living areas windows all receiving less than 3 hours of continuous sunlight at the winter solstice.

Due to the articulation of the proposed development it is considered that the bulk and scale is compatible with other developments in the locality. However, the shadowing impacts as outlined above are not reasonable.

The development site topography provides a challenge for developers. Advice was given to the applicant regarding stepped construction or alternative construction measures aside from cut/fill and slab to compliment the site topography. However, this advice has not been acted upon.

A request to justify the building envelope variations was requested in an RFI dated 13 January 2020. An application to vary the above control has not been received to date.



Solar Access –

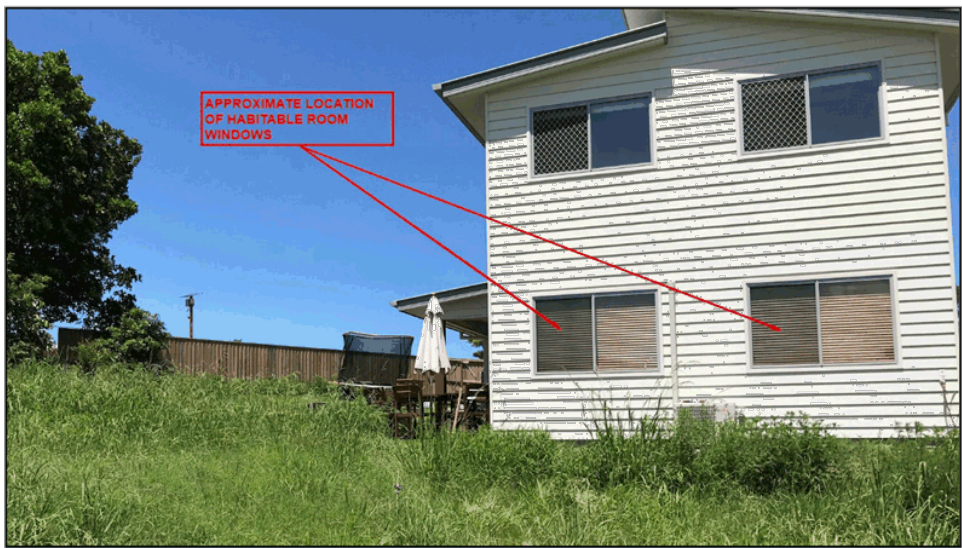
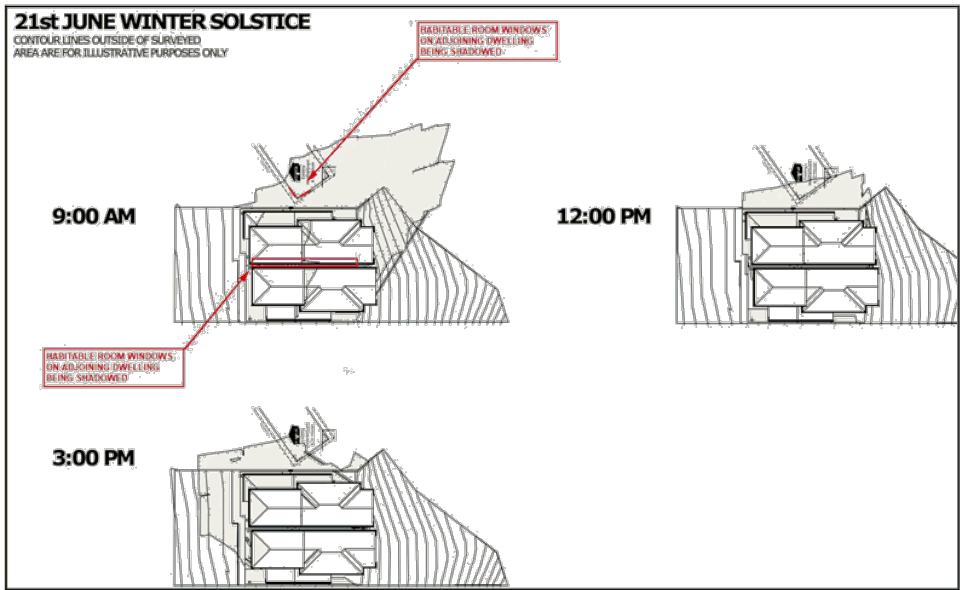
Objectives

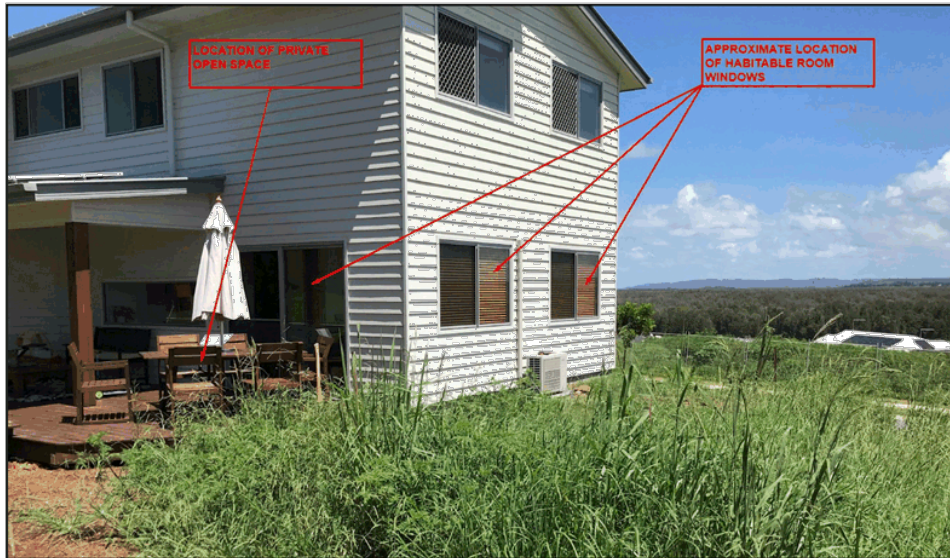
- a. Ensure new dwellings have adequate direct sunlight to living areas (living rooms, lounge rooms, kitchens, dining rooms and the like) and private open space –
- b. Ensure developments do not significantly overshadow living areas and the private open space of adjacent dwellings and areas of foreshore open space –

Shadow diagrams provided indicate that the windows of the "child's retreat" of Dwelling A and two of the living area windows of the dwelling on the adjoining property shall receive less than 3 hours of continuous sunlight between 9.00am and 3.00pm at the winter solstice.

The proposed development shall cast a significant shadow on ground floor habitable room windows of the dwelling on the adjoining property to the south.

During the DAP meeting it was noted that the dwelling on the adjoining land has an existing deck area (private open space) that would also be shadowed heavily during the winter solstice.





Element I Overlooking and Privacy –

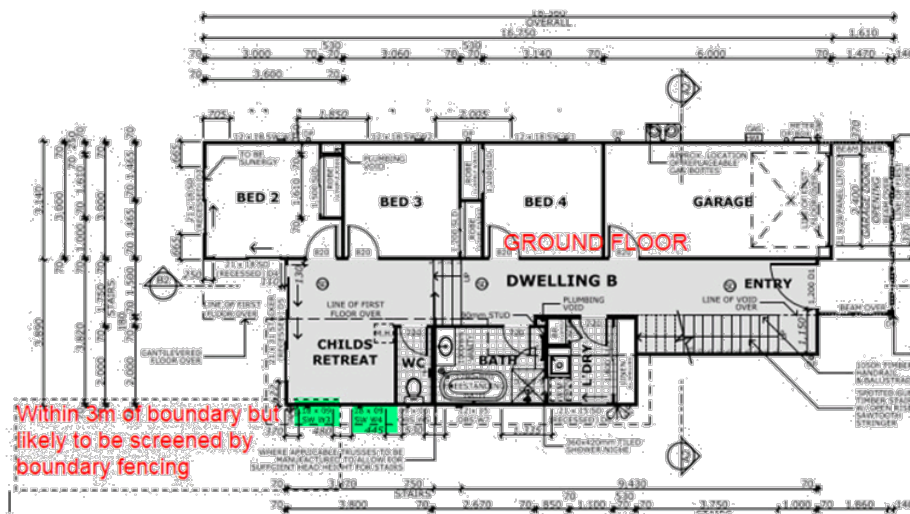
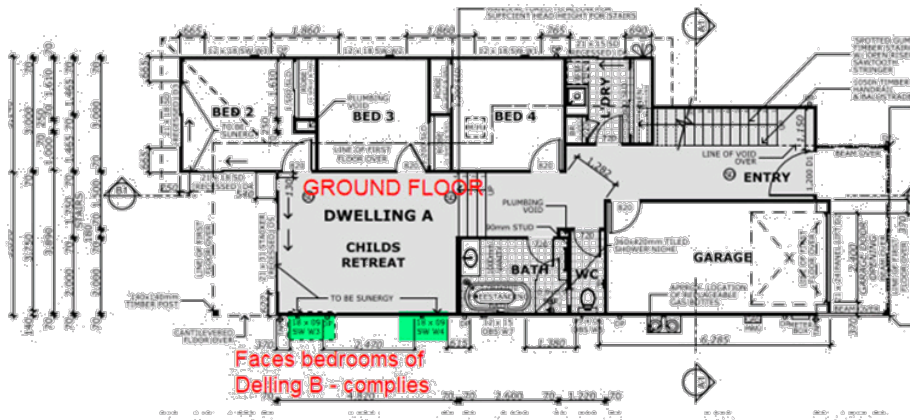
Objectives

- a. *Ensure buildings do not unduly affect existing or future development on adjoining properties by impinging on privacy or obstructing views –*
- b. *Provide visual privacy for internal and external spaces –*

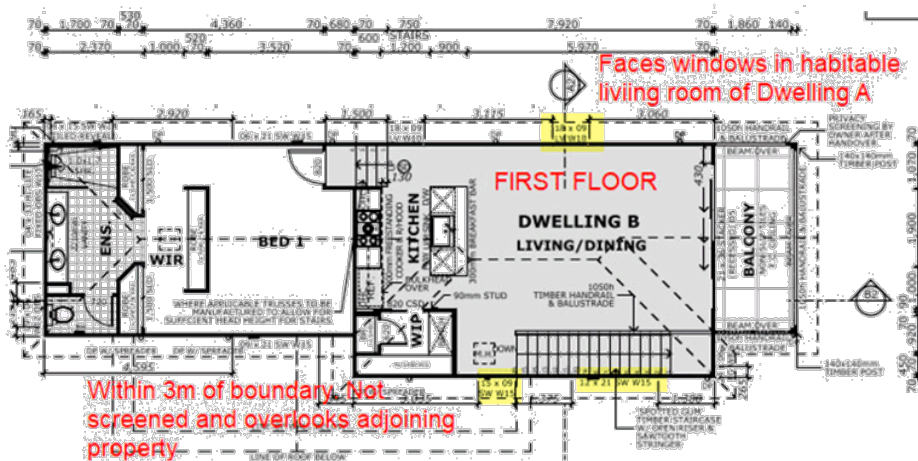
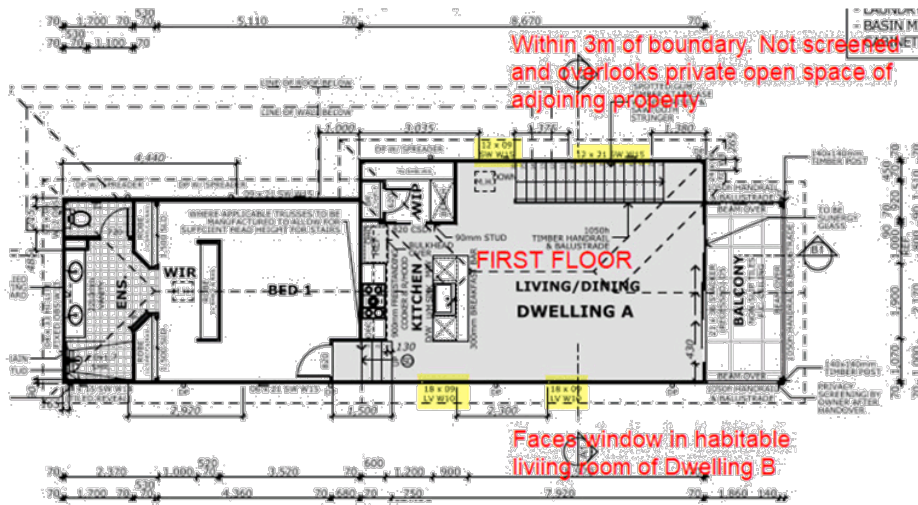
The proposed development has several habitable room windows (excluding bedroom windows) that have a do not meet the privacy criteria of the DCP with respect to the allotment boundary and the other dwelling on the same allotment.

Those that do not meet the privacy criteria are highlighted yellow on the plans below.

The first floor living areas of both Dwelling A and Dwelling B will be impacted by the other dwelling on the lot. In addition, the private open space of the properties located to the north and south will both be adversely impacted as well by the first floor windows.



Compliant windows in habitable rooms other than bedrooms



Non-compliant windows in habitable rooms other than bedrooms

Screening measures were requested to be demonstrated in accordance with Council's DCP. Only screening measures on the elevated decks have been included.

Conclusion

Should the proposed development be approved it is likely that there are impacts not only to the amenity of the adjoining property to the south but also to the southern dwelling on the development site through loss of privacy and natural light to the windows of habitable room.

It should be noted that Council has previously requested the applicant amend the design to suit the nature of the allotment and reduce the adverse impacts as noted in the report.

However, the small amendments that have been made are insufficient to provide the level of amenity that would be expected of the occupants of the affected dwellings.

Options

Option 1 – Approve the application as submitted with appropriate conditions.

Option 2 - Refuse the application due to the adverse impacts on the adjoining property and Dwelling A on the development site.

Option 3 – Provide the applicant with an opportunity to amend the design to reduce the impacts as noted in the report.

Conclusion

Should the proposed development be approved it may be deemed that there are impacts not only to the amenity of the adjoining property to the south but also to the southern dwelling on the development site through loss of privacy and natural light to the windows of habitable room.

It should be noted that Council has previously requested the applicant amend the design to suit the nature of the allotment and reduce the adverse impacts as noted in the report. However, the amendments that have been made are insufficient provide the level of amenity that would be expected of the occupants of the affected dwellings.

Option 1 is not recommended due to the unacceptable adverse impacts resulting from non-compliances with the DCP.

As the applicant has already had sufficient opportunity to amend the design and has only made insignificant changes. To resolve the amenity issues as noted in the report is likely to require a substantial redesign of the entire development. Therefore, Option 3 is not recommended.

Assessment Officer Recommendations / Options:

It is recommended that Option 2 be adopted by the panel for the following reasons.

1. The proposal does satisfy the controls or objectives of Ballina Shire Development Control Plan 2012 Element C - Building Envelopes.
2. The proposal does satisfy the controls or objectives of Ballina Shire Development Control Plan 2012 Element I – Privacy and Overlooking.
3. The proposal does satisfy the controls or objectives of Ballina Shire Development Control Plan 2012 Element J – Solar Access.
4. The proposal will have unreasonable shadowing and privacy impacts on the amenity of the adjoining property to the south.
5. The proposal will have unreasonable shadowing and privacy impacts on the amenity of the southern dwelling on the development site (Dwelling A)
6. The proposal will have unreasonable privacy impacts on the amenity of the northern dwelling on the development site (Dwelling A)
7. The proposal will have unreasonable privacy impacts on the amenity of the adjoining property to the north.

Minutes of (DAP) Meetings:

The panel consisting of David Tyler, Ryan Slater and Neville McDonald met at the site on 26 February 2020 and discussed the content of the report including the locations of the building, the encroachments of the building envelope, shadowing impacts and privacy impacts.

The panel agreed that the impacts as noted in the report are unreasonable and unnecessary and that a more skilful design with greater regard for the DCP controls and objectives could reduce any impacts to a reasonable level.

DAP Recommendations:

As the applicant has failed to address the design issues, the panel agreed to recommend **Refusal** in accordance with Option 3 of the report.

DAP Members to electronically endorse in Content Manager (CM)

Division Manager/ Comments/ Recommendations/ Endorsement

Comments:

Refusal of the application endorsed subject to inclusion of additional detail in the DAP report regarding the impacts on the proposed dwelling A.

Matthew Wood
Director
Planning and Environmental Health Division

Director to electronically endorse in Content Manager (CM)

Development Application Assessment Form*(Pursuant to s 4.14 and s.4.15 (1) of the EP & A Act 1979)***Application Details**

Development Application No.	2019/723
Property Description	Lot: 61 DP: 1240776, 10 Tidepool Street LENNOX HEAD
Proposed Development	Construction of two dwellings and associated earthworks and retaining walls to create a Detached Dual Occupancy development and Strata subdivision as depicted in plans by Stroud Homes Project No. 161TID19
Building Classification	1(a), 10(a) & 10(b)
Site Inspection Date	28/11/2019

Assessment of the Application

The assessment officer responsible for the preparation of this report, (including recommendations/ determination or advice to any person) has delegated authority to deal with this application has no pecuniary interest or conflict of interest to disclose in respect to the application.

Only those sections applicable to the application need to be completed. Where an item is not applicable the field may be left blank.

Type of Development

The development is **not Designated** Development

The development is **not Integrated** Development and **no referrals** to any NSW State Government authority required

Land Ownership

The application is **not for development on Crown Land**

The application is not for development **on land owned by Ballina Shire Council**

Existing Development

The lot is currently vacant

Section 4.14 Consultation and development consent—certain bush fire prone land

(cf previous s 79BA)

The property is not mapped as bushfire prone land, or within 100m of vegetation that may be deemed to be a threat.

Section 4.15(1)(a)(i) - The provisions of any Environmental Planning Instrument State Environmental Planning Policies (SEPP)

Compliance is achieved with the listed SEPP's:

SEPP 55—Remediation of Land

- There are no likely contamination issues

SEPP (BASIX) 2004

- A BASIX Certificate has been provided and the commitments included in the documents to be issued with any consent

SEPP (Coastal Management) 2018

Division 3 Coastal environment area

The development is on land within the coastal environment area, although it is not likely to cause an adverse impact on:

- the integrity and resilience of the surface water, groundwater and ecological environment
- the coastal environmental values and natural coastal processes,
- the water quality of any marine estate, including cumulative impacts on any coastal lakes.
- any marine vegetation, native vegetation and fauna and their habitats, any undeveloped headlands and rock platforms,
- any existing public open space and safe access to and along any foreshore, beach, headland or rock platform for members of the public, including persons with a disability,
- any Aboriginal cultural heritage, practices and places,
- the use of any surf zone.

SEPP (Mining, Petroleum Production and Extractive Industries) 2007

The proposed development is not in the vicinity of an existing mine, petroleum production facility or extractive industry

SEPP (Infrastructure) 2007

The proposed development:

- Does not involve penetration of ground within 2m of an underground electricity power line or an electricity distribution pole or within 10m of any part of an electricity tower,
- is not within or immediately adjacent to an easement for electricity purposes (whether or not the electricity infrastructure exists)
- is not immediately adjacent to an electricity substation
- is not within 5m of an exposed overhead electricity power line

Local Environmental Plans (LEP)

The land has the following zonings under the BLEP 2012:

- R3 Medium Density Residential

The proposed development permissible within this zone.

Part 4 Principal development standards

4.3 & 4.3A The **height of the building** does not exceed the maximum allowable height

4.4 & 4.5 The gross floor area does not exceed the maximum **floor space ratio**

Part 5 Miscellaneous provisions

5.10 The development is not in the vicinity of, nor does it does not involve altering a **heritage item** as listed in Schedule 5 of the LEP or disturbing an **aboriginal place** of heritage significance

Part 7 Additional local provisions

- 7.4 The development is not likely to impact on the drinking water storage in a **drinking water catchment**
- 7.5 The development will not penetrate the Limitation or Operations Surface for **airspace operations**
- 7.6 The development will not increase in the number of dwellings or people affected by **aircraft noise**
- 7.7 **Water, electricity, sewage disposal, stormwater drainage and vehicular access** are available

Section 4.15 (1)(a)(ii) - The Provisions of any Draft Environmental Planning Instrument

There are no **draft EPI's in relation to the development**

Section 4.15(1)(a)(iii) – Ballina Shire's Development Control Plan (DCP) 2012

Only those matters of relevance to the application need to be addressed.

Chapter 1 - Administration

The development complies with Council's **Building Over Assets** Policy –

- Subject allotment has registered easement "s" to drain sewage 3m wide to the front of the allotment. Amended plans provided 03/02/2020 appear to indicate all proposed retaining walls clear of registered easements. Conditions applies for ZOI to be considered.

Conditions to be applied in relation to Council's **Dual Water** Policy

Contributions apply to the **Dual Occupancy/Strata Subdivision** development.

A plan of the proposed strata lots has been provided.

There are no known **private covenant issues (S.88B)**

3.2.2 There have been **no pre-lodgement meetings** other than possible over the counter advice

3.2.3 The assessment of the application was subject to stop the clock provisions.

The following **additional information** was requested from the applicant.

1. Provide plans that demonstrate compliance with Council's building envelope controls or provide a Development Control Plan variation for the proposed building envelope encroachment. Please note – it is unlikely Council shall support a variation of this nature in its current format, redesign should be considered.
2. Provide shadow diagrams that clearly depict any shadow caused on both proposed dwellings and the adjoining properties during the winter solstice;
3. The plans provided indicate the proposal of a retaining wall and fill material over the registered easement to the front of the property. Please provide plans that demonstrate compliance with Council's Building Over Assets Policy - Amended plans revised 03/02/2020 indicate compliance with Council's Policy.
4. Provide an amended site plan that clearly indicates the location of the proposed Strata boundary – Provided 03/02/2020.

5. Provide details (location and configuration) of required screening measures in accordance with Council's Development Control Plan.

3.2.4 & 3.2.5 Public **Notification**, Exhibition & Submissions

It was considered that the development would not create any unreasonable impacts on surrounding properties and therefore the application has **not been publicly notified**.

- 3.2.6 All applicable DA related **fees have been paid** –
 - All fees paid 13/11/19

Chapter 2- General and Environmental Considerations

The development will comply with the following applicable provisions of this Chapter:

- 3.1 Land Use Conflict – No known issues.
- 3.2 Ridgelines and Scenic Areas - not within mapped layers.
- 3.3 Natural Areas and Habitat – Not within mapped layer or associated buffer.
- 3.4 Potentially Contaminated Land – Subject allotment is mapped as being potentially contaminated. However, Council records indicate remediation works were completed during subdivision stage.
- 3.5 Land Slip/Geotechnical Hazard – Not within mapped layers.
- 3.6 Mosquito Management – Applies, controls required.
- 3.7 Waste Management – Applies, controls required.
- 3.8 On-site Sewage Management Systems – Not applicable, sewage available.
- 3.9 Stormwater Management – Not applicable to proposal.
- 3.10 Sediment and Erosion Control – Applies, controls required.
- 3.11 Provision of Services – Present.
- 3.12 Heritage – Not listed as heritage item.
- 3.13 Drinking Water Catchments – Not within catchment area.
- 3.14 Coastal Hazards – Not within mapped layer.
- 3.15 Crime Prevention through Environmental Design – Not applicable to proposal.
- 3.16 Public Art – Not applicable.
- 3.17 Road Widening – Not within mapped areas.
- 3.18 Protection of Foreshore and Public Open Space Areas – Not within mapped areas. However, allotment has area of significant urban bushland to rear that is protected by easement.
- 3.19 Car Parking and Access – Number of spaces provided is to be clarified.
- 3.20 Vibration – Not applicable.
- 3.21 Bushfire Management – Refer to assessment under Section 4.14 of the Act above.

Chapter 2a - Vegetation

3.1 Urban Zones

The development does not involve the removal of any vegetation.

Chapter 2b- Flood Plain Management

Subject allotment is not mapped as being flood prone.

Chapter 4- Residential & Tourist Development

The development will comply with, or can be conditioned to comply with, the following applicable provisions of Section 3.1.3 of this Chapter:

- | | |
|-----------|---|
| Element A | Building Height – Plans indicate building height is less than 8.5m. Complies. |
| Element B | Floor Space Ratios – Less than 0.5:1 indicated on plans. Complies. |
| Element C | Building Envelopes – |

Objectives

- a. Ensure buildings are set back progressively from the side and rear boundaries as building height increases so that buildings do not unduly affect existing or future development on adjoining properties by way of overshadowing, impinging on privacy, or unreasonably obstructing views – Proposed development breaches the building envelope on the both the northern and southern 2.4m and 2.6m respectively. Shadowing diagrams provided indicate severe shadowing on adjoining. **Does not meet objective.**
- b. Ensure that the occupants of residential accommodation have the opportunity to enjoy the optimum use of winter sunlight – Should the proposed development be approved in its current form a shadow shall be cast on the dwelling on the adjoining allotment to the south. The shadow cast shall be cast on both living area and bedroom windows for extended periods of time. **Does not meet objective.**
- c. Enhance opportunities for solar access to both the development site and adjoining properties – As above, proposed development casts sever shadow on adjoining allotment. Further consideration should be granted to the shadow effect on the southern dwelling of the proposed development. **Does not meet objective.**
- d. Achieve varied and interesting streetscapes, good orientation of residential developments with regard to sun, shade, wind and neighbouring development, and effective use of allotments to create usable private open space and courtyards – As above the proposed development not only casts a shadow on the adjoining land there it is envisaged the shadow on the southern dwelling shall be severe. **Does not meet objective.**
- e. Ensure that buildings are compatible with the bulk, scale and character of the locality – Due to the articulation of the proposed development it may be considered that the bulk and scale is compatible with local development. However, shadowing impacts as outlined above should not be overlooked. Complies with objective.
- f. Minimise adverse impacts on the existing or future amenity of adjoining properties and the scenic or landscape quality of the locality – The subject allotment is bounded to the south by a residential allotment which contains an existing dwelling.
- g. To provide flexibility for steeply sloping – The development site topography provides a challenge for developers. Advice was given to the applicant regarding stepped construction or alternative construction measures aside from cut/fill and slab to compliment the site topography. However, this advice has not been considered. **Does not meet objective.**

NOTE – A request to vary the above control was requested in an RFI dated 13/01/2020. No application to vary the above control has been received.

Element D	Articulation Zone – Nothing proposed in the articulation zone
Element E	Building Lines – 6m indicated on plans complies with minimum setback.
Element F	Development Fronting Laneways – Not applicable.
Element G	Landscaping and Open Space – Sufficient space is provided.
Element H	Vehicular Access and Parking – Two spaces provided, one of which is covered. Other parking space is stacked. Car parking arrangement is permissible under DCP.
Element I	Overlooking and Privacy –

Objectives

- a. Ensure buildings do not unduly affect existing or future development on adjoining properties by impinging on privacy or obstructing views – The proposed development has several habitable room windows (excluding bedroom windows) that have a do not

meet the criteria of the DCP with respect to the allotment boundary and other dwelling on the same allotment. **Does not meet objective.**

- b. Provide visual privacy for internal and external spaces – As above the proposed development has several windows that may be deemed to be impinging on the adjoining properties and between the proposed dwellings on the same allotment. **Does not meet objective.**

Note – Screening measures were required to be demonstrated in accordance with Council's DCP. Only screening measures on the elevated decks were indicated.

Element J Solar Access –

Objectives

- a. Ensure new dwellings have adequate direct sunlight to living areas (living rooms, lounge rooms,
b. kitchens, dining rooms and the like) and private open space – Shadow diagrams provided indicate that the windows of the "child's retreat" of dwelling a and two of the living area windows of the dwelling on the adjoining property shall receive less than 3 hours direct sunlight during the winter solstice. **Does not meet objective.**
c. Ensure developments do not significantly overshadow living areas and the private open space of adjacent dwellings and areas of foreshore open space – As above the proposed development shall cast a significant shadow on habitable room windows of the dwelling on the adjoining property to the south. **Does not meet objective.**
d.

Element K Element - Fences and Walls – None proposed.
Element L Roof Pitch – More than 5 degrees, complies.
Element M Adaptable Housing – Not applicable to dwellings
Element N Minimum Lot Area – no subdivision proposed
Element O Dwelling Density – Not applicable to dwellings or dual occupancies
Element P Earthworks & Slope Sensitive Design Controls – Complies with controls, standard conditions to apply.

Section 4.15(1)(a)(iia) – any Planning Agreement

There is no **planning agreement** that a developer has offered to enter into for the property.

Section 4.15(1)(a)(iv) – the provisions of the Regulations

The development does not involve demolition work.

Section 4.15 (1)(a)(v) – any Coastal Zone Management Plan

Repealed.

Sections 4.15(1)(b) & (c) -The Likely Impacts of the Development and the Suitability of the Site for the Development

There are no likely issues obtaining access or **fall to sewer and stormwater** junctions and discharge points.

There are likely unreasonable impacts on other properties with **privacy, shadowing, noise, view loss, external lighting, surface water run off or glare.**

There are no likely impacts on adjoining Council owned **reserves** (including access onto reserves during or after construction).

Section 4.15 (1)(d) – Consideration of submissions

No submissions have been received.

4.15(1)(e) – The Public Interest

Where relevant, provide comment on any public interest issue including local, state and federal:

Approval of the proposal in its current form is not in the public interest.

Other Comments and Determination

Having inspected the site and assessed the application in terms of relevant matters for consideration within Section 4.15(1) of the EP & A Act 1979 and other pertinent concerns as detailed in the above sections of this report, it is recommended that the application be determined by:

- **Refusing of consent**


The application has been referred to the Development Assessment Panel.

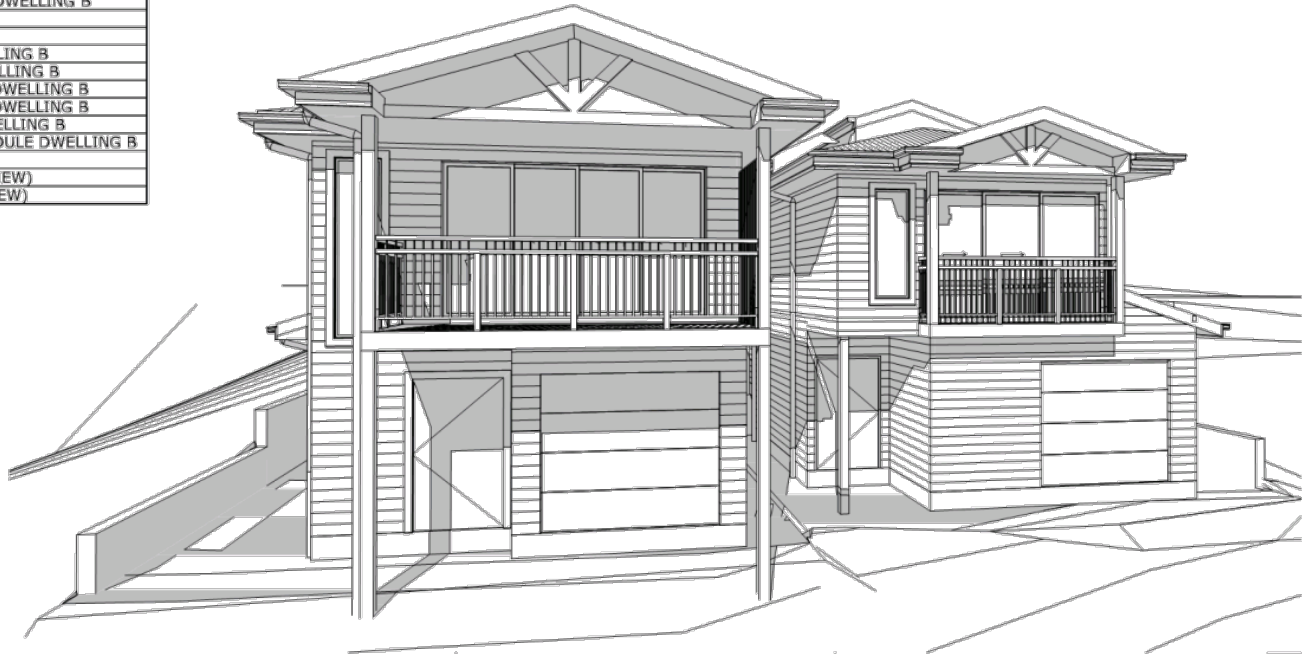
Assessment Officer's Name: Ryan Slater

Date: 26 February 2020

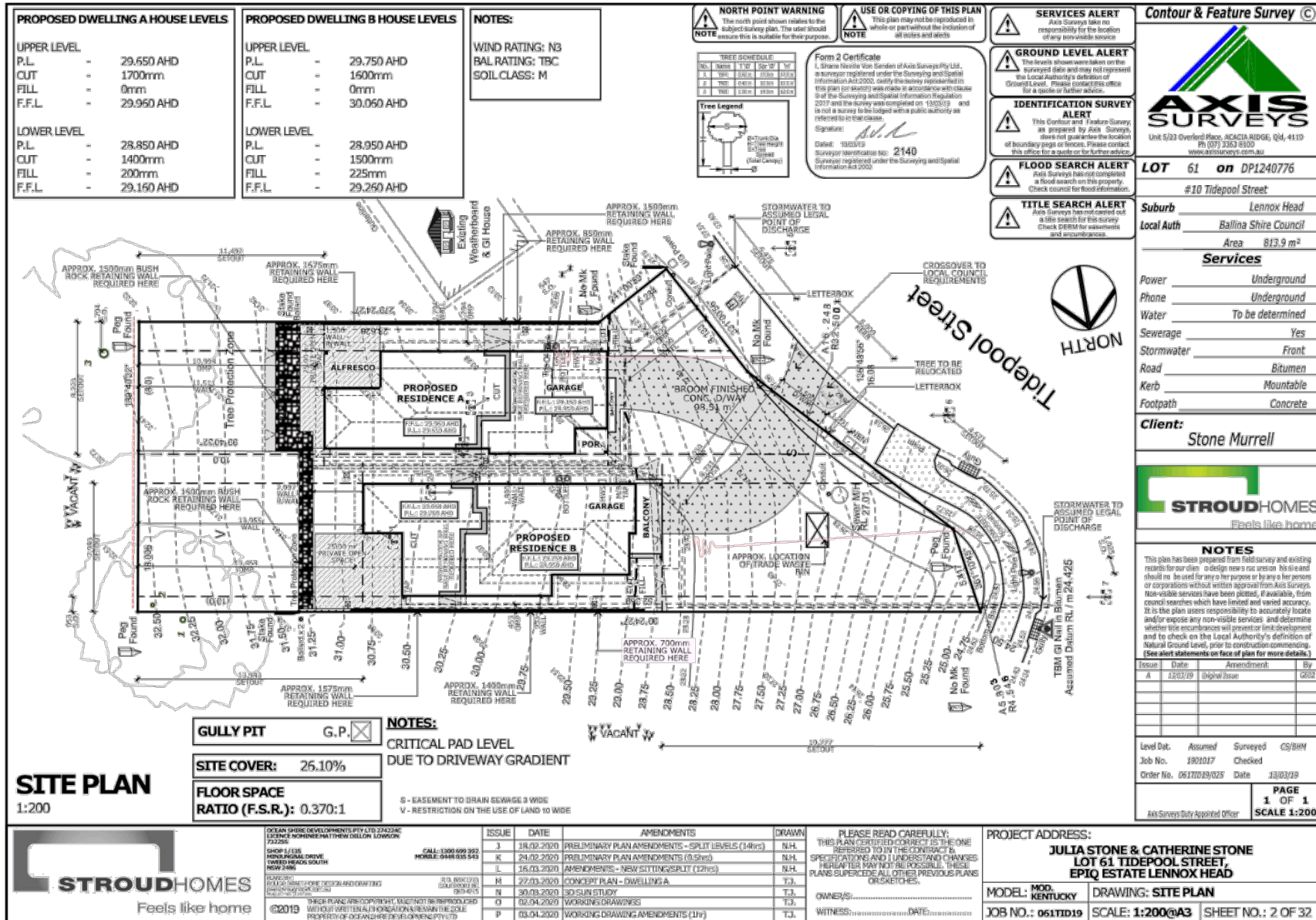
PAGE	NAME
1	COVER PAGE
2	SITE PLAN
3	STRATA TITLE LINE - SITE PLAN
4	GROUND FLOOR PLANS (NO DIMS)
5	FIRST FLOOR PLANS (NO DIMS)
6	GROUND FLOOR PLAN DWELLING A
7	FIRST FLOOR PLAN DWELLING A
8	EXTERNAL ELEVATIONS DWELLING A
9	EXTERNAL ELEVATIONS DWELLING A
10	SECTIONS DWELLING A
11	SLAB PLAN DWELLING A
12	ELECTRICAL PLAN DWELLING A
13	FLOOR COVERINGS DWELLING A
14	INTERNAL ELEVATIONS DWELLING A
15	INTERNAL ELEVATIONS DWELLING A
16	STANDARD DETAILS DWELLING A
17	WINDOW & DOOR SCHEDULE DWELLING A
18	GROUND FLOOR PLAN DWELLING B
19	FIRST FLOOR PLAN DWELLING B
20	EXTERNAL ELEVATIONS DWELLING B
21	EXTERNAL ELEVATIONS DWELLING B
22	SECTIONS DWELLING B
23	SLAB PLAN DWELLING B
24	ELECTRICAL PLAN DWELLING B
25	FLOOR COVERINGS DWELLING B
26	INTERNAL ELEVATIONS DWELLING B
27	INTERNAL ELEVATIONS DWELLING B
28	STANDARD DETAILS DWELLING B
29	WINDOW & DOOR SCHEDULE DWELLING B
30	SUN STUDY
31	3D SUN STUDY (WEST VIEW)
32	3D SUN STUDY (EAST VIEW)

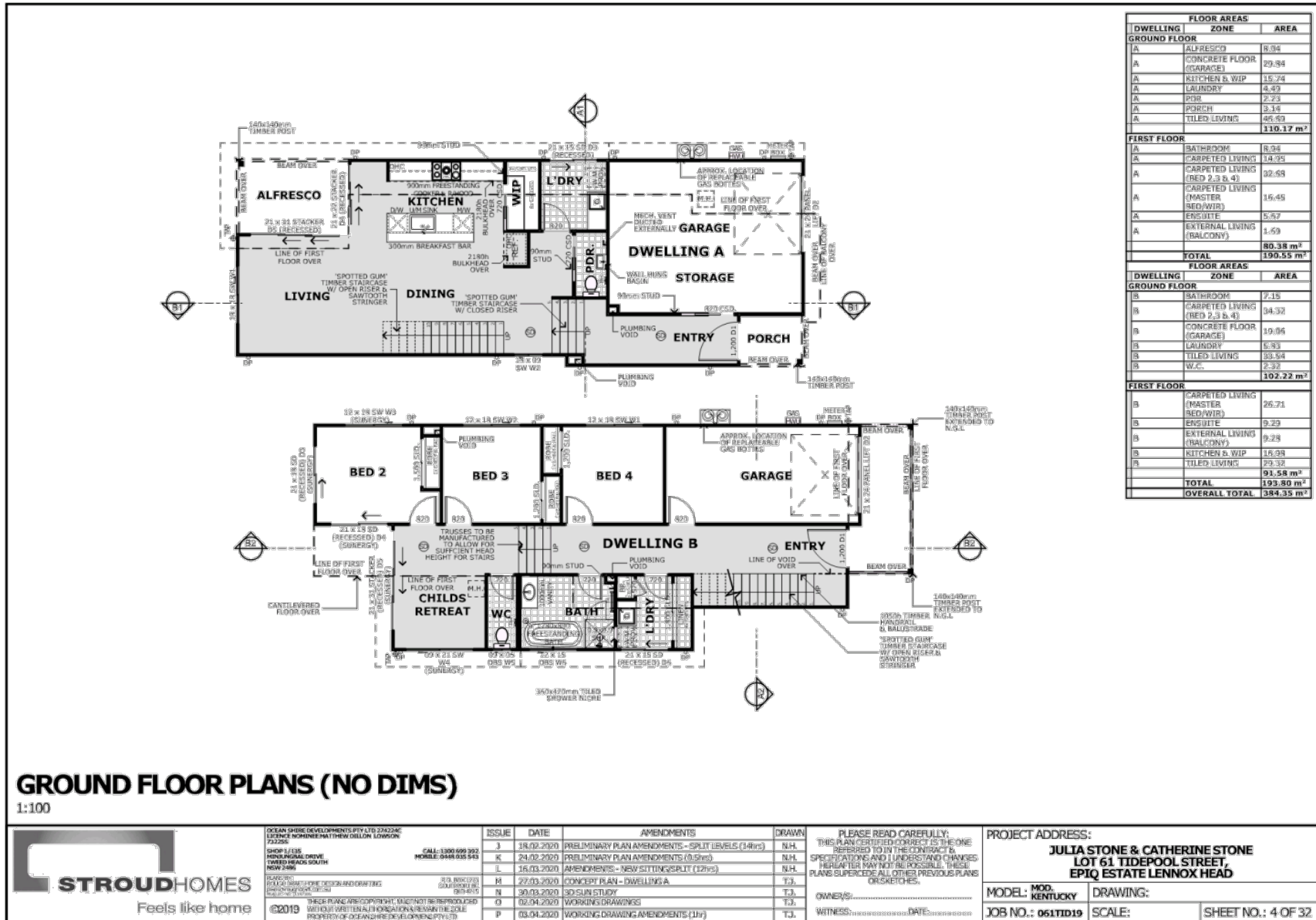
PROPOSED PRELIMINARY PLANS FOR
JULIA STONE & CATHERINE STONE
LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD
JOB NO.: 061TID19

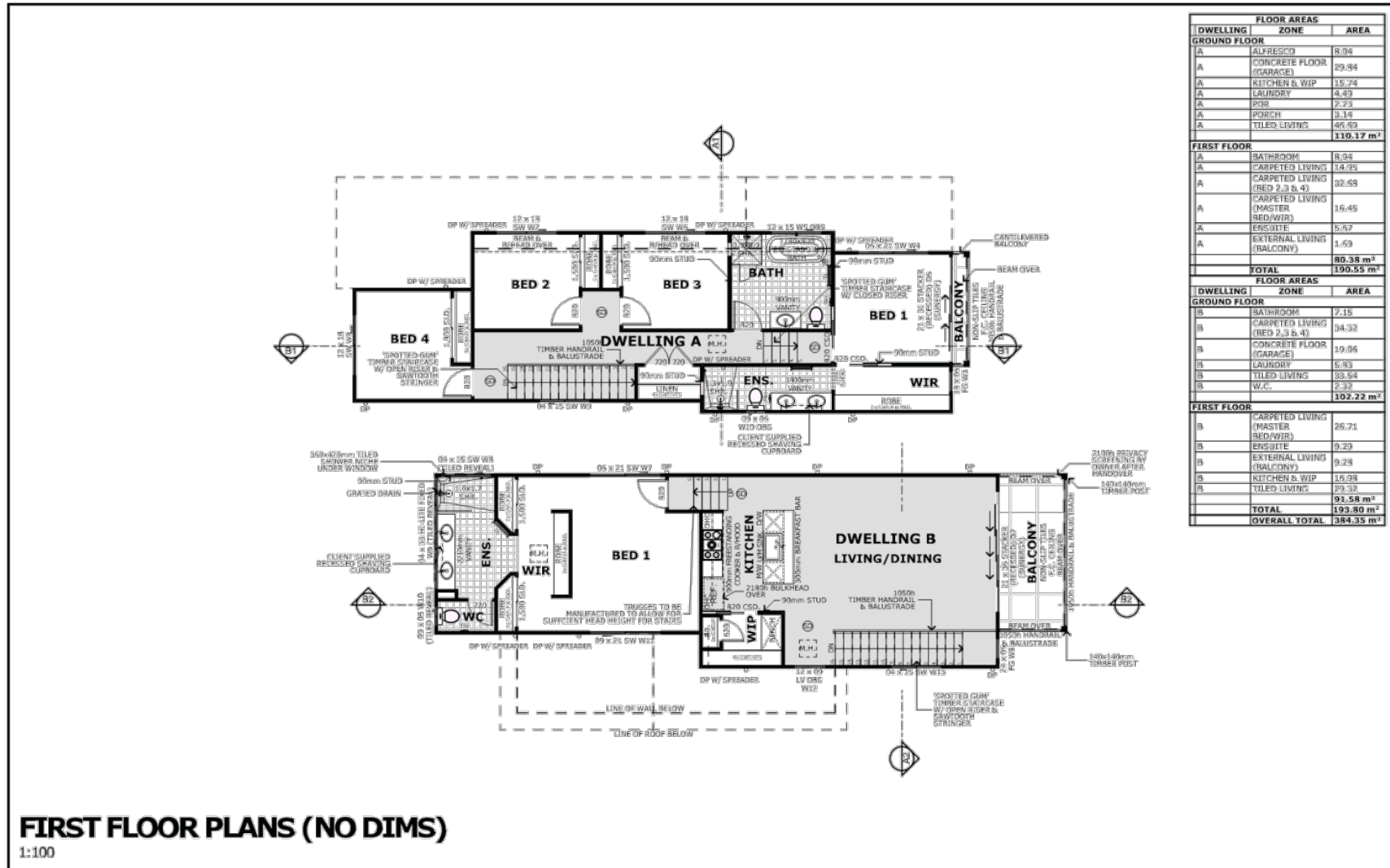




ARTISTIC IMPRESSION ONLY
 © COPYRIGHT







FLOOR AREAS		
DWELLING	ZONE	AREA
GROUND FLOOR		
A	ALFRESCO	8.04
A	CONCRETE FLOOR (GARAGE)	29.94
A	KITCHEN & WIP	15.74
A	LAUNDRY	4.49
A	PORCH	2.23
A	PORCH	3.14
A	TILED LIVING	46.63
TOTAL		110.17 m²
FIRST FLOOR		
A	BATHROOM	8.04
A	CARPETED LIVING	14.39
A	CARPETED LIVING (BED 2, 3 & 4)	22.69
A	CARPETED LIVING (MASTER BED/WIR)	16.45
A	ENSUITE	5.67
A	EXTERNAL LIVING (BALCONY)	1.69
TOTAL		80.38 m²
TOTAL		190.55 m²
FLOOR AREAS		
DWELLING	ZONE	AREA
GROUND FLOOR		
B	BEDROOM	7.15
B	CARPETED LIVING (BED 2, 3 & 4)	34.32
B	CONCRETE FLOOR (GARAGE)	19.06
B	LAUNDRY	5.93
B	TILED LIVING	33.64
B	W.C.	2.32
TOTAL		102.22 m²
FIRST FLOOR		
B	CARPETED LIVING (MASTER BED/WIR)	26.71
B	ENSUITE	9.29
B	EXTERNAL LIVING (BALCONY)	9.28
B	KITCHEN & WIP	16.08
B	TILED LIVING	29.32
TOTAL		91.58 m²
TOTAL		384.35 m²

FIRST FLOOR PLANS (NO DIMS)
1:100

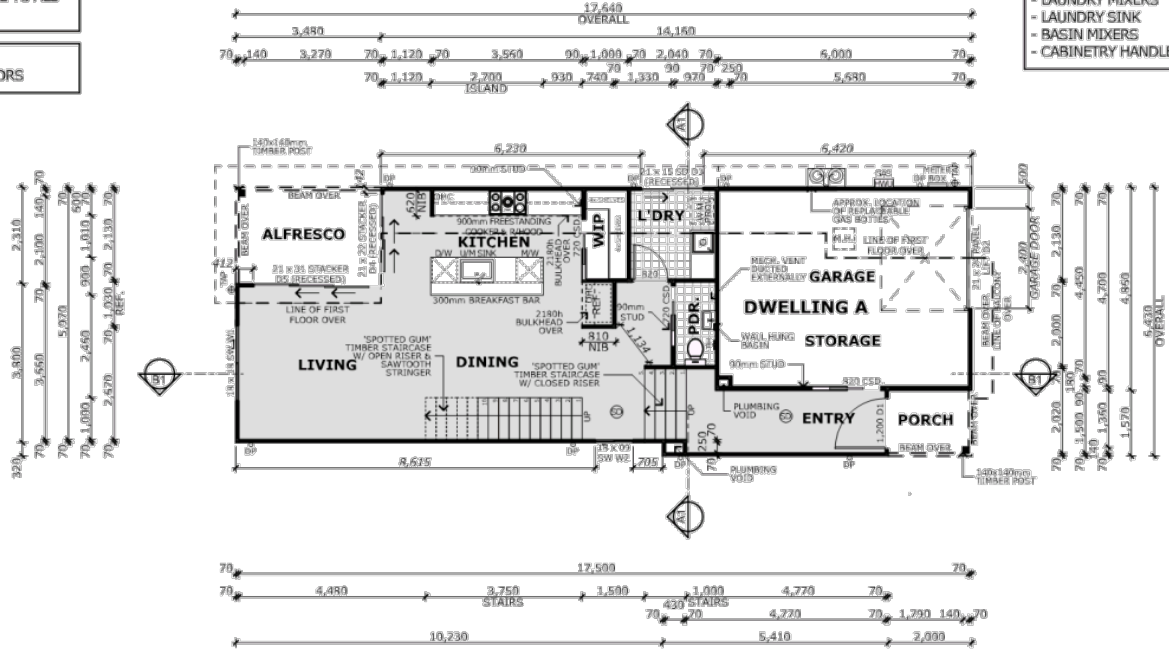
<p>Feels like home</p>	OCEAN SHIRE DEVELOPMENTS PTY LTD 22AC246 LICENSE NUMBER: MAT1189 DILLON LOHSON 722261 SHDN 1 (238) 100 WINDMILL DRIVE TIDEPOOL HEADS SOUTH NSW 2446 CALL: 1300 699 992 MOBILE: 0418 035 913	<table border="1"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>AMENDMENTS</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>J</td> <td>18.02.2020</td> <td>PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)</td> <td>N.H.</td> </tr> <tr> <td>K</td> <td>24.02.2020</td> <td>PRELIMINARY PLAN AMENDMENTS (0.5hrs)</td> <td>N.H.</td> </tr> <tr> <td>L</td> <td>16.03.2020</td> <td>AMENDMENTS - NEW SITTING/SPLIT (12hrs)</td> <td>N.H.</td> </tr> <tr> <td>M</td> <td>27.03.2020</td> <td>CONCEPT PLAN - DWELLINGS A</td> <td>T.J.</td> </tr> <tr> <td>N</td> <td>30.03.2020</td> <td>3D SUN STUDY</td> <td>T.J.</td> </tr> <tr> <td>O</td> <td>02.04.2020</td> <td>WORKING DRAWINGS</td> <td>T.J.</td> </tr> <tr> <td>P</td> <td>03.04.2020</td> <td>WORKING DRAWING AMENDMENTS (1hr)</td> <td>T.J.</td> </tr> </tbody> </table>	ISSUE	DATE	AMENDMENTS	DRAWN	J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.	K	24.02.2020	PRELIMINARY PLAN AMENDMENTS (0.5hrs)	N.H.	L	16.03.2020	AMENDMENTS - NEW SITTING/SPLIT (12hrs)	N.H.	M	27.03.2020	CONCEPT PLAN - DWELLINGS A	T.J.	N	30.03.2020	3D SUN STUDY	T.J.	O	02.04.2020	WORKING DRAWINGS	T.J.	P	03.04.2020	WORKING DRAWING AMENDMENTS (1hr)	T.J.	PLEASE READ CAREFULLY: THIS PLAN CERTIFIED/CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES. OWNER/S:..... WITNESS:.....DATE:.....	PROJECT ADDRESS: JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD
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©2019 THESE PLANS ARE COPYRIGHT. MUST NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM THE OWNER. PROPERTY OF OCEAN SHIRE DEVELOPMENTS PTY LTD	MODEL: MOD. KENTUCKY DRAWING:..... JOB NO.: 061TD19 SCALE:..... SHEET NO.: 5 OF 32																																			

NOTE:
 - 450mm EAVES U.N.O.
 - INVISI-GARD SECURITY SCREEN TO ALFRESCO SLIDING DOOR.
 BARRIER SCREENS TO REMAINING SLIDING DOORS & FLYSCREENS TO WINDOWS
 - VJ PANELING TO CEILING OF BATHROOM & ENSUITE
 HATCH INDICATES EXTENT OF SQ. SET CEILING
 - CSR PRESTO CORNICE TO ALL OTHER AREAS

NOTE:
 - PRE11 INTERNAL DOORS

NOTE:
 THE FOLLOWING ITEMS TO BE SUPPLIED BY OWNER.
 - KITCHEN MIXER
 - SMART TILE MIXER
 - STRIP DRAINS
 - PLUG & WASTES
 - SHOWER RAILS
 - SHOWER MIXERS
 - TOWEL RAILS
 - TOILET ROLL HOLDERS
 - BATH WALL SETS
 - LAUNDRY MIXERS
 - LAUNDRY SINK
 - BASIN MIXERS
 - CABINETRY HANDLES

FLOOR AREAS		
DWELLING	ZONE	AREA
GROUND FLOOR		
A	ALFRESCO	8.04
A	CONCRETE FLOOR (GARAGE)	29.94
A	KITCHEN & WIP	15.74
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		110.17 m²
FIRST FLOOR		
A	BATHROOM	8.94
A	CARPETED LIVING	14.39
A	CARPETED LIVING (BED 2, 3 & 4)	22.69
A	CARPETED LIVING (MASTER BED/WIP)	15.45
A	ENSUITE	5.67
A	EXTERNAL LIVING (BALCONY)	1.69
		80.38 m²
TOTAL		190.55 m²



GROUND FLOOR PLAN DWELLING A
 1:100



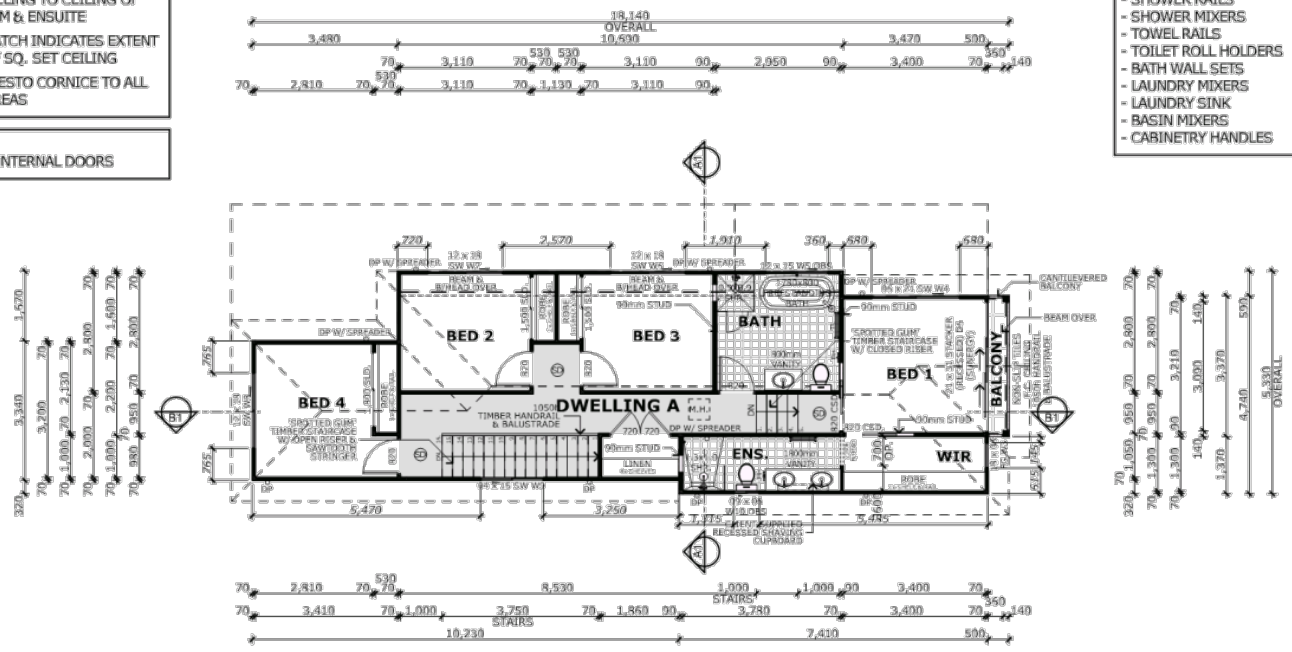
OCEAN SHIRE DEVELOPMENTS PTY LTD 22AC246 LICENSE NUMBER: 2417189 ORION L100000722254 SHOW 1 (1338) 100 WINDMILL DRIVE TIDEPOOL HEADS SOUTH NSW 2446 CALL: 1300 699 992 MOBILE: 0448 035 913		ISSUE DATE AMENDMENTS DRAWN J 18.02.2020 PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs) N.H. K 24.02.2020 PRELIMINARY PLAN AMENDMENTS (0.5hrs) N.H. L 16.03.2020 AMENDMENTS - NEW SITTINGS/SPLIT (12hrs) N.H. M 27.03.2020 CONCEPT PLAN - DWELLINGS A T.J. N 30.03.2020 3D SUN STUDY T.J. O 02.04.2020 WORKING DRAWINGS T.J. P 03.04.2020 WORKING DRAWING AMENDMENTS (1hr) T.J.	PLEASE READ CAREFULLY: THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES. OWNER/S:..... WITNESS:.....DATE:.....	PROJECT ADDRESS: JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD MODEL: MOD. KENTUCKY DRAWING: GROUND FLOOR PLAN DWELLING A JOB NO.: 061TD19 SCALE: 1:100@A3 SHEET NO.: 6 OF 32
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NOTE:
 - 450mm EAVES U.N.O.
 - INVISI-GARD SECURITY SCREEN TO ALFRESCO SLIDING DOOR.
 BARRIER SCREENS TO REMAINING SLIDING DOORS & FLYSCREENS TO WINDOWS
 - VJ PANELING TO CEILING OF BATHROOM & ENSUITE
 HATCH INDICATES EXTENT OF SQ. SET CEILING
 - CSR PRESTO CORNICE TO ALL OTHER AREAS

NOTE:
 - PRE11 INTERNAL DOORS

NOTE:
 THE FOLLOWING ITEMS TO BE SUPPLIED BY OWNER.
 - KITCHEN MIXER
 - SMART TILE WASTES
 - STRIP DRAINS
 - PLUG & WASTES
 - SHOWER RAILS
 - SHOWER MIXERS
 - TOWEL RAILS
 - TOILET ROLL HOLDERS
 - BATH WALL SETS
 - LAUNDRY MIXERS
 - LAUNDRY SINK
 - BASIN MIXERS
 - CABINETRY HANDLES

FLOOR AREAS		
DWELLING	ZONE	AREA
GROUND FLOOR		
A	ALFRESCO	8.04
A	CONCRETE FLOOR (GARAGE)	29.94
A	KITCHEN & WIP	15.74
A	LAUNDRY	4.47
A	PORCH	2.23
A	PORCH	3.14
A	TILED LIVING	46.63
		110.17 m²
FIRST FLOOR		
A	BATHROOM	8.94
A	CARPETED LIVING	14.39
A	CARPETED LIVING (BED 2, 3 & 4)	22.69
A	CARPETED LIVING (MASTER BED/WIR)	16.45
A	ENSUITE	5.67
A	EXTERNAL LIVING (BALCONY)	1.69
		80.38 m²
TOTAL		190.55 m²



FIRST FLOOR PLAN DWELLING A
 1:100

NOTE:
 - SHOWER TRAY TO BE DROPPED INTO THE JOIST & HARDIES WET AREA FLOORING TO BE USED



STROUDHOMES
 Feels like home

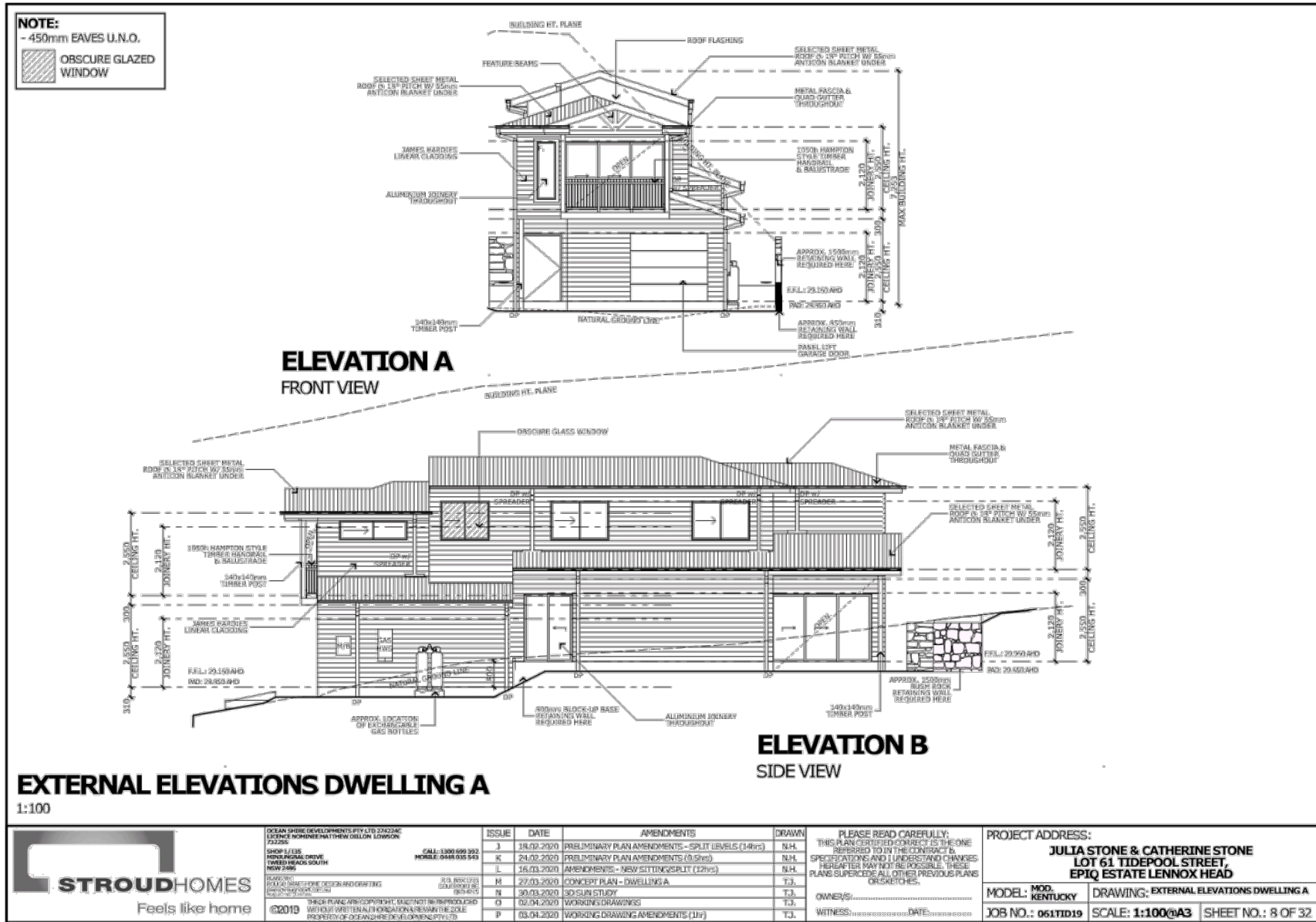
ISSUE	DATE	AMENDMENTS	DRAWN
J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (140rc)	N.H.
K	24.02.2020	PRELIMINARY PLAN AMENDMENTS (0.5hrs)	N.H.
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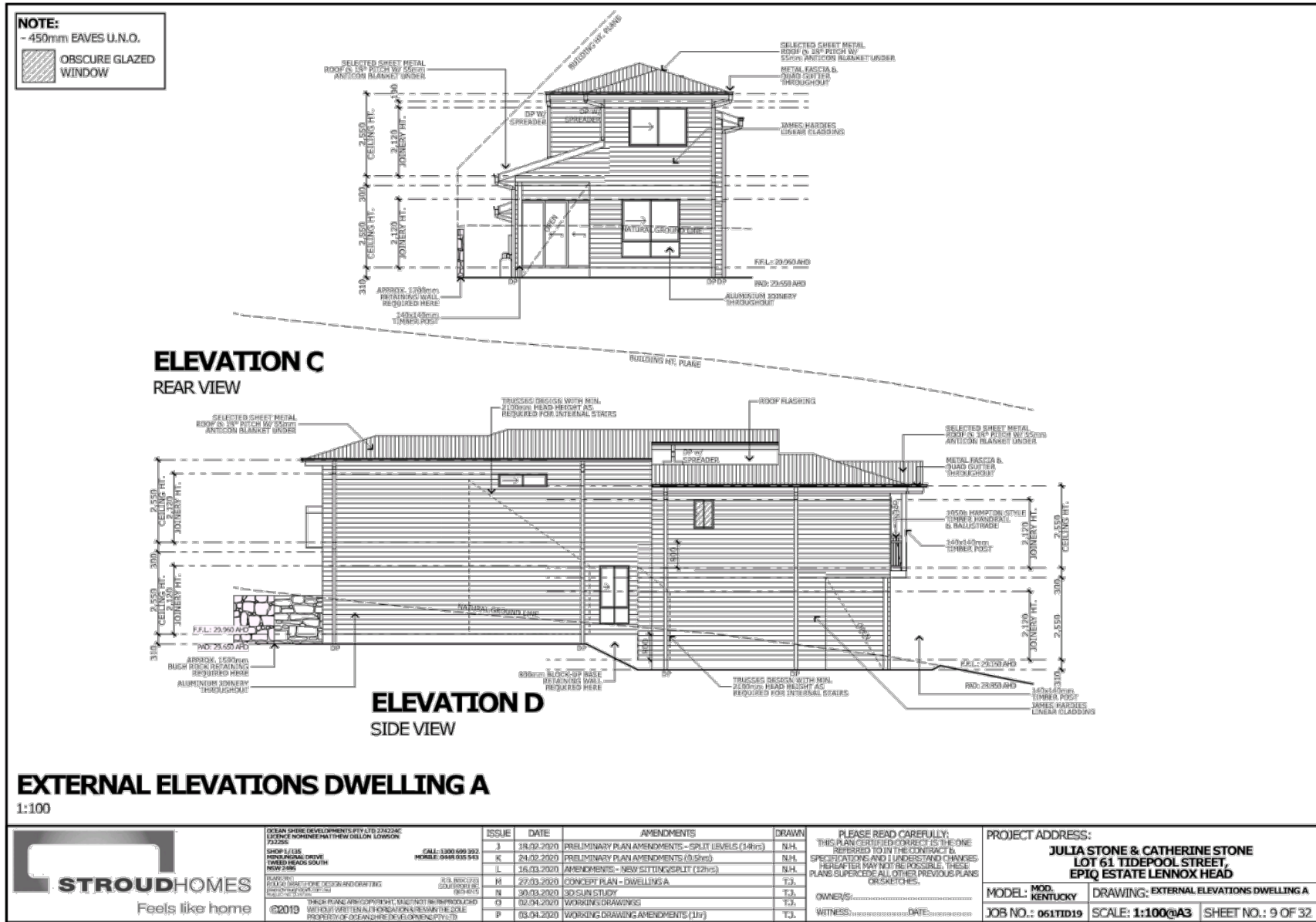
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OWNER/S:
 WITNESS: DATE:

PROJECT ADDRESS:
JULIA STONE & CATHERINE STONE
LOT 61 TIDEPOOL STREET,
EPIQ ESTATE LENNOX HEAD

MODEL: MOD. KENTUCKY DRAWING: FIRST FLOOR PLAN DWELLING A
 JOB NO.: 061TD19 SCALE: 1:100@A3 SHEET NO.: 7 OF 32





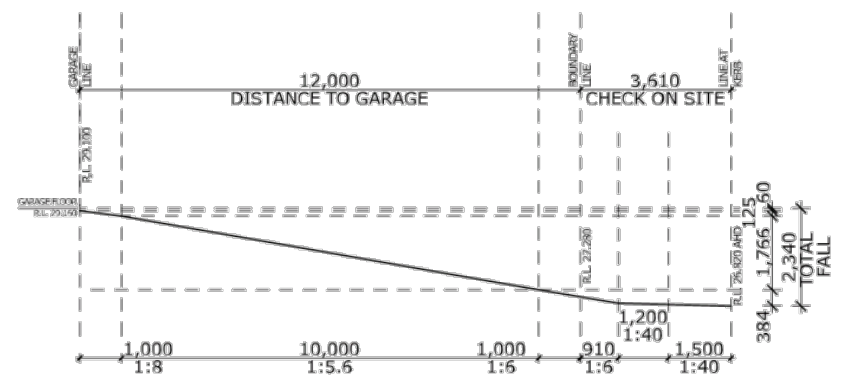
NOTE:
450mm EAVES U.N.O.

NOTE:
TERMITE TREATMENT TO COMPLY WITH PART 3.13 OF THE B.C.A. & WITH A.S.3660.1

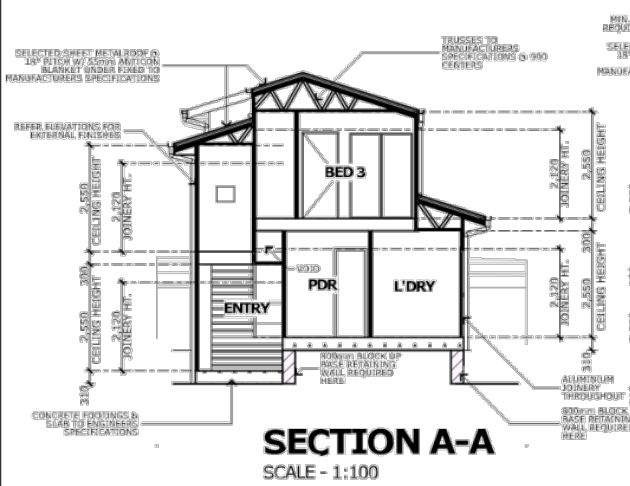
NOTE:
REFER ENGINEERS DESIGN FOR FOOTING & SLAB DETAILS

NOTE:
PROVIDE FULL HT. MASONRY ARTICULATION AS PER ENGINEERS SOIL TEST REPORT

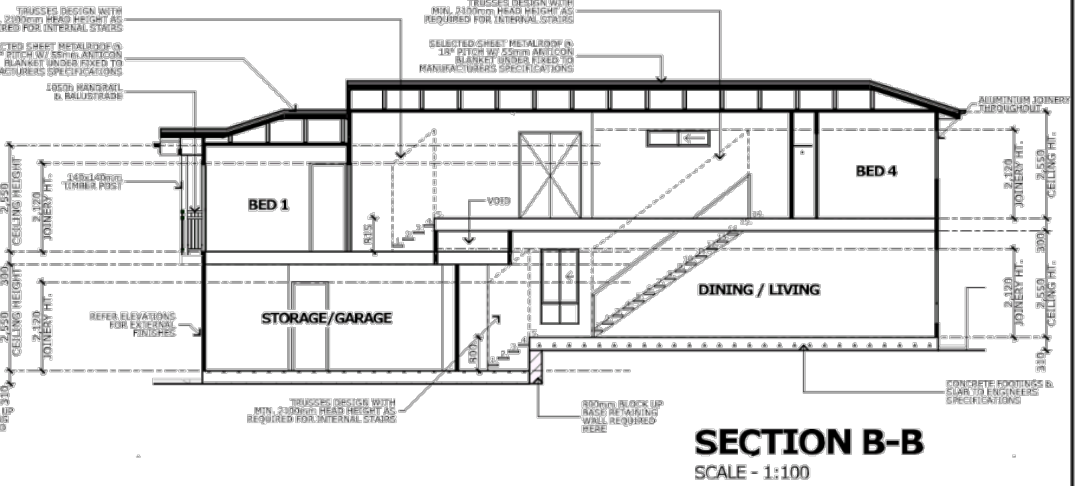
NOTE:
- R4.0 BATTS TO CEILING SPACE
- 55mm R1.5 ANTICON UNDERSHEET INSULATION TO THE ROOF
- R1.5 SARKING WRAP TO ALL EXTERNAL WALLS
- WELL VENTILATED FRIDGE SPACE
- R1.5 BATTS TO EXTERNAL WALLS
- R1.5 BATTS TO INTERNAL WALLS AROUND BATH, L'DRY & W/C
- R2.5 CANTILEVERED FLOOR



DRIVEWAY SECTION
1:100



SECTION A-A
SCALE - 1:100



SECTION B-B
SCALE - 1:100

SECTIONS DWELLING A
1:100



ISSUE	DATE	AMENDMENTS	DRAWN
J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.
K	24.02.2020	PRELIMINARY PLAN AMENDMENTS (0.5hrs)	N.H.
L	16.03.2020	AMENDMENTS - NEW SITTING/SPLIT (12hrs)	N.H.
M	27.03.2020	CONCEPT PLAN - DWELLINGS A	T.J.
N	30.03.2020	3D SUN STUDY	T.J.
O	02.04.2020	WORKING DRAWINGS	T.J.
P	03.04.2020	WORKING DRAWING AMENDMENTS (1hr)	T.J.

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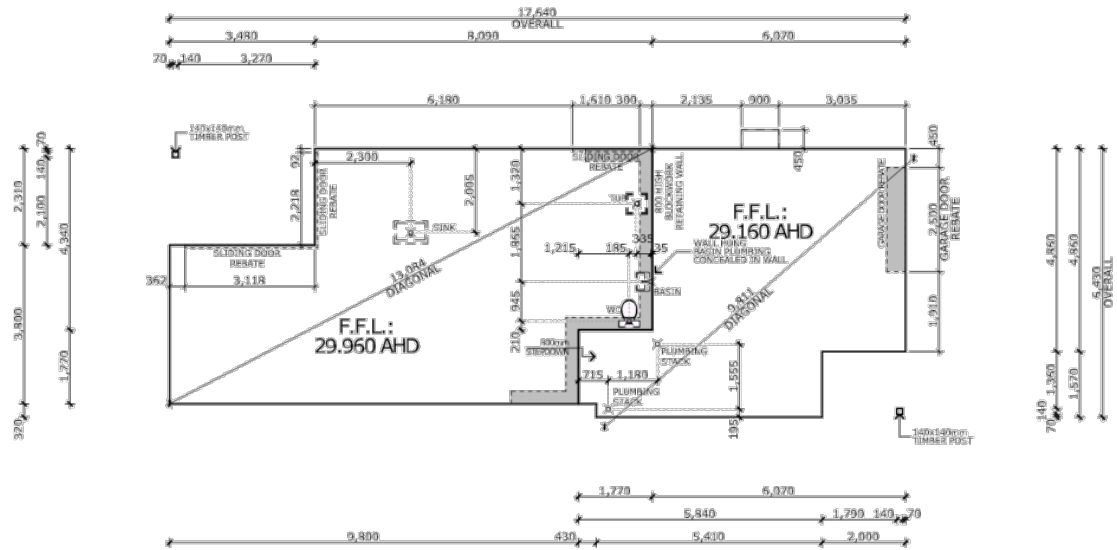
PROJECT ADDRESS:
JULIA STONE & CATHERINE STONE
LOT 61 TIDEPOOL STREET,
EPIQ ESTATE LENNOX HEAD

MODEL: MOD. KENTUCKY
DRAWING: SECTIONS DWELLING A

OWNER/S:
WITNESS:

JOB NO.: 061TD19
SCALE: 1:100@A3
SHEET NO.: 10 OF 32

NOTE:
 - BATHROOM, ENSUITE, LAUNDRY FLOORS DO NOT FALL TO WASTE
 - PLUMBER TO CHECK & CONFIRM ALL WASTE POINT LOCATIONS PRIOR TO CONCRETE POUR
 - REFER TO ENGINEERS PLANS



SLAB PLAN DWELLING A
 1:100



ISSUE	DATE	AMENDMENTS	DRAWN
J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.
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OWNER/S:.....
 WITNESS:.....DATE:.....

PROJECT ADDRESS:
JULIA STONE & CATHERINE STONE
LOT 61 TIDEPOOL STREET,
EPIQ ESTATE LENNOX HEAD

MODEL: MOD. KENTUCKY DRAWING: SLAB PLAN DWELLING A
 JOB NO.: 061TD19 SCALE: 1:100@A3 SHEET NO.: 11 OF 32

NOTE:
SHOWER NICHE'S ARE TO BE
INSTALLED IN A 90MM STUD WALL ONLY

SHOWER NICHE DETAIL
1:20

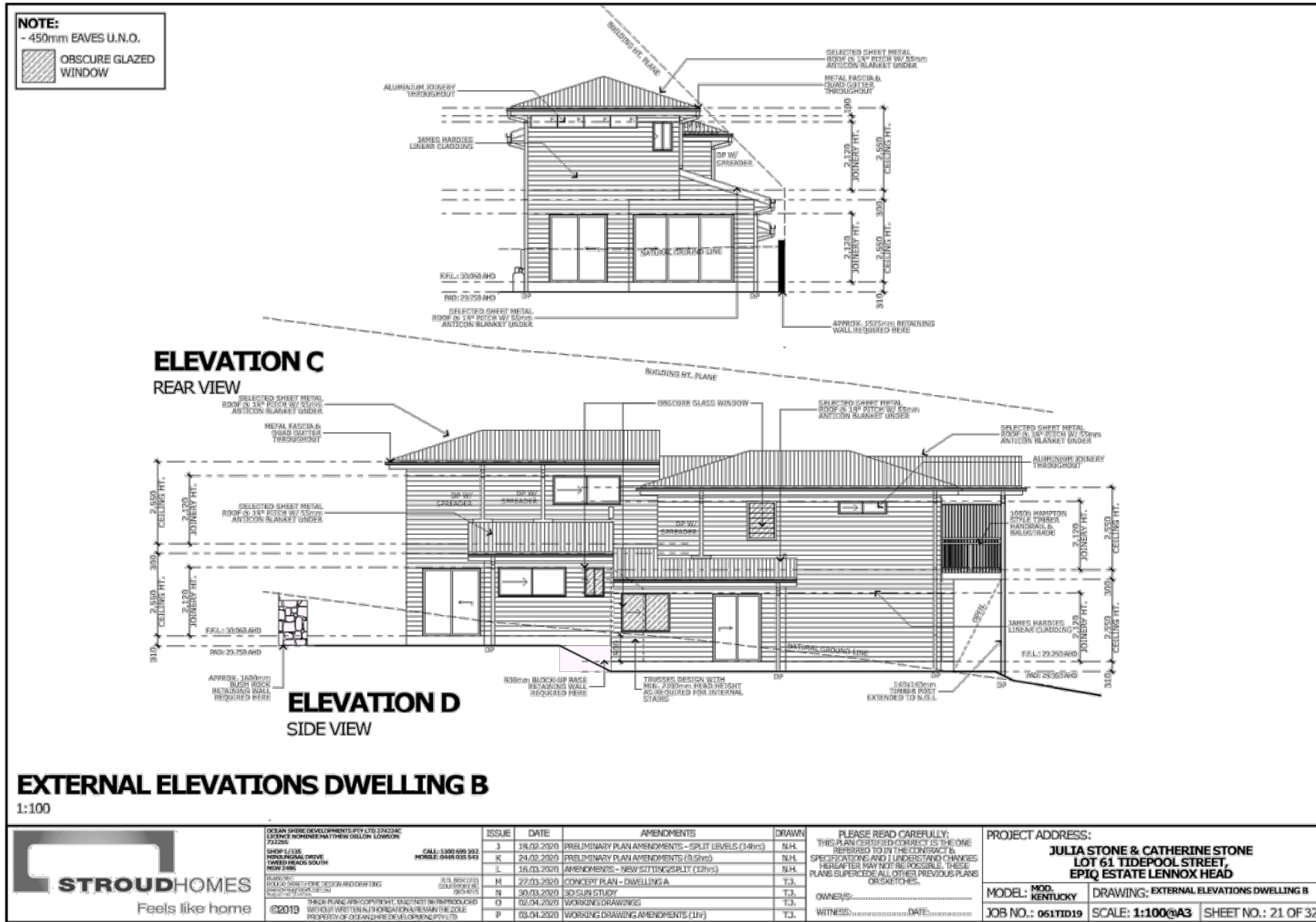
SQ. SET HAMPER'S 1:10
2440/2590MM HIGH CEILINGS
BULKHEAD DETAIL
1:10

CLADDING EXTERNAL FINISH DETAIL
1:10

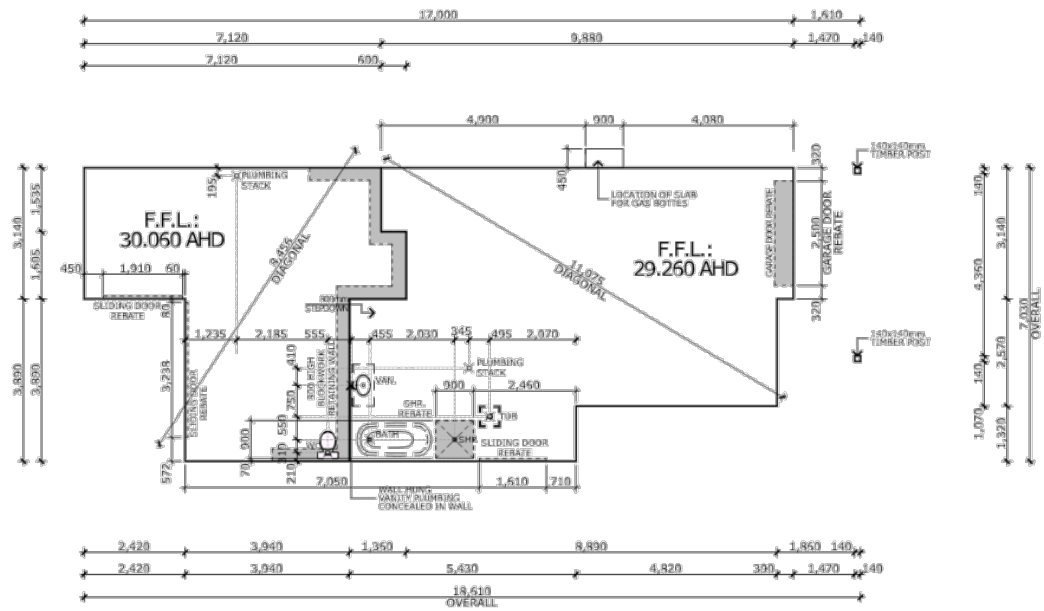
RECESSED SHOWER BASE DETAIL
1:10

STANDARD DETAILS
AS NOTED

<p>STROUDHOMES Feels like home</p>	OCEAN SHIRE DEVELOPMENTS PTY LTD 22A/22B LICENSE NO: 92647 (MAY 2019) LICENSE NO: 92226 5/5011 1/135 HINDLEIGH DRIVE TIDEPOOL HEADS SOUTH NSW 2264 CALL: 1300 699 992 MOBILE: 0418 035 913	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>AMENDMENTS</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>J</td> <td>18.02.2020</td> <td>PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)</td> <td>N.H.</td> </tr> <tr> <td>K</td> <td>24.02.2020</td> <td>PRELIMINARY PLAN AMENDMENTS (0.5hrs)</td> <td>N.H.</td> </tr> <tr> <td>L</td> <td>16.03.2020</td> <td>AMENDMENTS - NEW SITTING/SPLIT (12hrs)</td> <td>N.H.</td> </tr> <tr> <td>M</td> <td>27.03.2020</td> <td>CONCEPT PLAN - DWELLINGS A</td> <td>T.J.</td> </tr> <tr> <td>N</td> <td>30.03.2020</td> <td>3D SUN STUDY</td> <td>T.J.</td> </tr> <tr> <td>O</td> <td>02.04.2020</td> <td>WORKING DRAWINGS</td> <td>T.J.</td> </tr> <tr> <td>P</td> <td>03.04.2020</td> <td>WORKING DRAWING AMENDMENTS (1hr)</td> <td>T.J.</td> </tr> </tbody> </table>	ISSUE	DATE	AMENDMENTS	DRAWN	J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.	K	24.02.2020	PRELIMINARY PLAN AMENDMENTS (0.5hrs)	N.H.	L	16.03.2020	AMENDMENTS - NEW SITTING/SPLIT (12hrs)	N.H.	M	27.03.2020	CONCEPT PLAN - DWELLINGS A	T.J.	N	30.03.2020	3D SUN STUDY	T.J.	O	02.04.2020	WORKING DRAWINGS	T.J.	P	03.04.2020	WORKING DRAWING AMENDMENTS (1hr)	T.J.	PLEASE READ CAREFULLY: THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES. OWNER/S:..... WITNESS:.....DATE:.....	PROJECT ADDRESS: JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD
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				JOB NO.: 061TD19																																
				SCALE: 1:50@A3																																
				SHEET NO.: 16 OF 32																																



NOTE:
 - BATHROOM, ENSUITE, LAUNDRY FLOORS DO NOT FALL TO WASTE
 - PLUMBER TO CHECK & CONFIRM ALL WASTE POINT LOCATIONS PRIOR TO CONCRETE POUR
 - REFER TO ENGINEERS PLANS



SLAB PLAN DWELLING B
 1:100



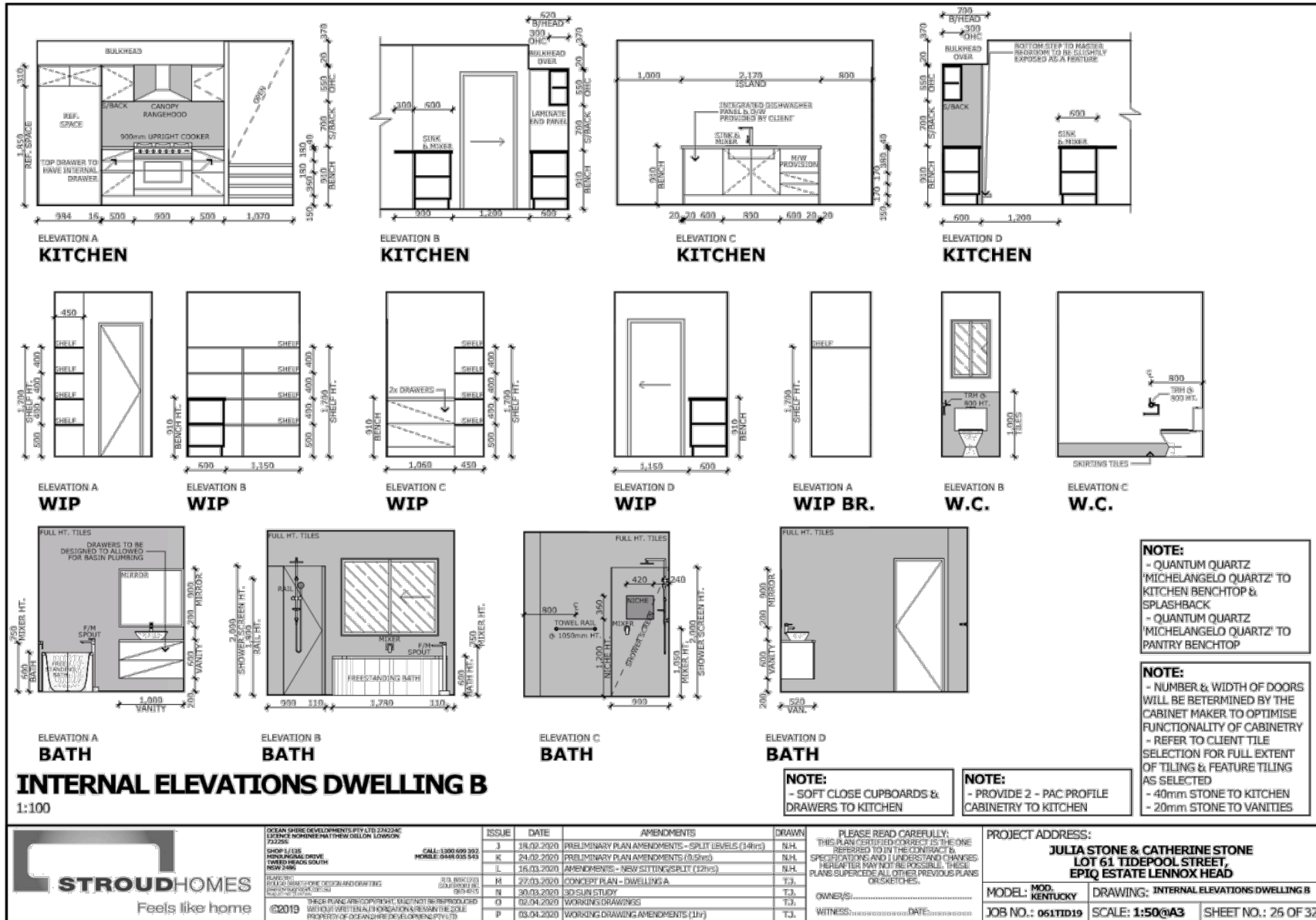
OCEAN SHIRE DEVELOPMENTS PTY LTD 224224E
 LICENSE NUMBER 241789 ON 01/01/2019
 222254
 SHDH 1/135
 100 WINDMILL DRIVE
 TIDEPOOL HEADS SOUTH
 NSW 2426
 CALL: 1300 699 992
 MOBILE: 0448 035 913

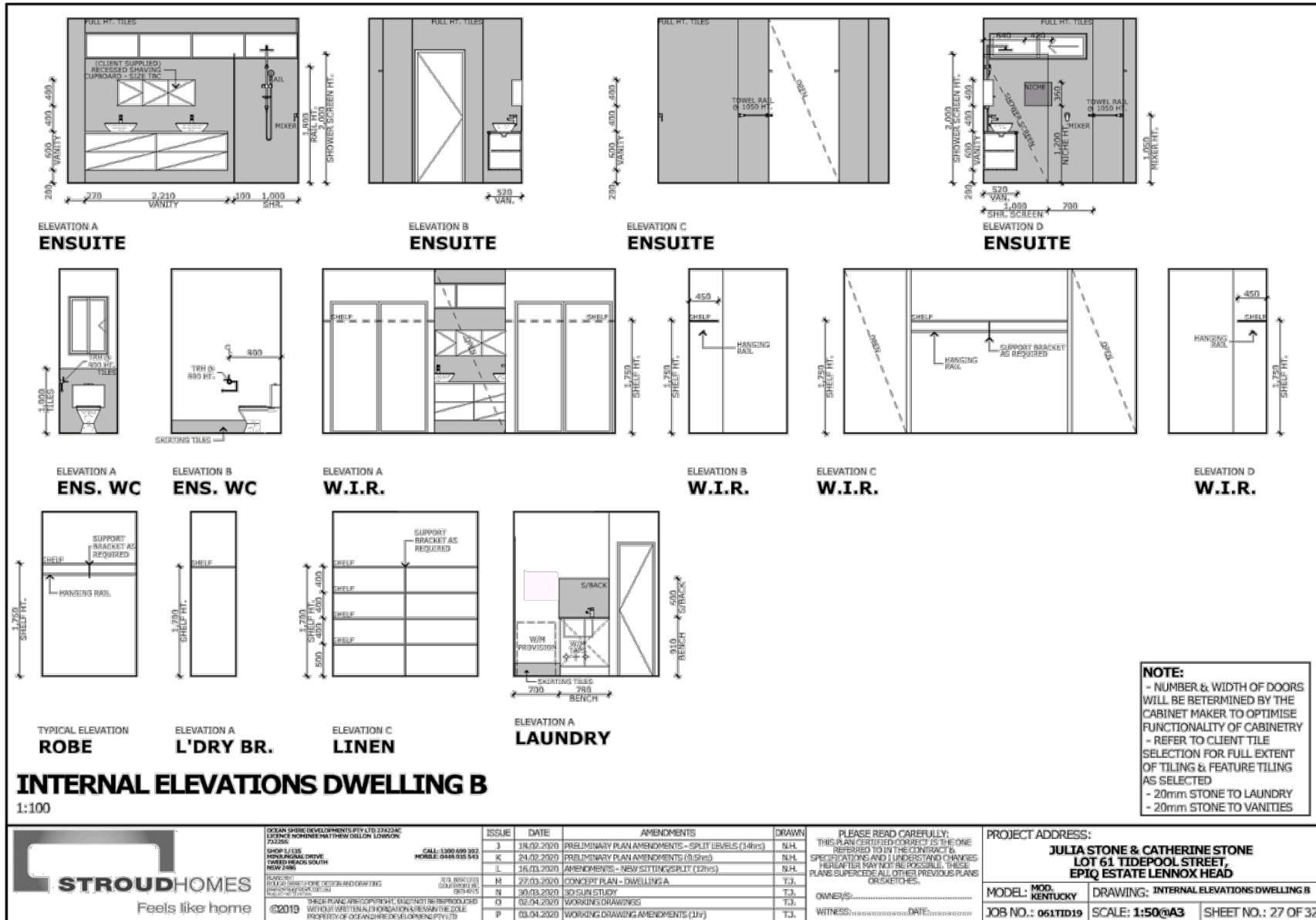
ISSUE	DATE	AMENDMENTS	DRAWN
J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.
K	24.02.2020	PRELIMINARY PLAN AMENDMENTS (0.5hrs)	N.H.
L	16.03.2020	AMENDMENTS - NEW SITTINGSPLIT (12hrs)	N.H.
M	27.03.2020	CONCEPT PLAN - DWELLINGS A	T.J.
N	30.03.2020	3D SUN STUDY	T.J.
O	02.04.2020	WORKING DRAWINGS	T.J.
P	03.04.2020	WORKING DRAWING AMENDMENTS (1hr)	T.J.

PLEASE READ CAREFULLY:
 THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND UNDERSTAND CHANGES. HEREFTER MAY NOT BE POSSIBLE, THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES.
 OWNER/S:.....
 WITNESS:.....DATE:.....

PROJECT ADDRESS:
JULIA STONE & CATHERINE STONE
 LOT 61 TIDEPOOL STREET,
 EPIQ ESTATE LENNOX HEAD

MODEL: MOD. KENTUCKY DRAWING: SLAB PLAN DWELLING B
 JOB NO.: 061TD19 SCALE: 1:100@A3 SHEET NO.: 23 OF 32





NOTE:
SHOWER NICHE'S ARE TO BE
INSTALLED IN A 90MM STUD WALL ONLY

420
360
1700 FROM FLOOR LEVEL
PRECAST SHOWER NICHE
420x360x90MM
DEEP

SHOWER NICHE DETAIL
1:20

VARIES
CEILING LINE
70x35mm TIMBER
10MM SQUARE SET PLASTERBOARD
VARIES TO MAINTAIN BULKHEAD HEIGHT
210MM FROM FLOOR LEVEL

**SQ. SET HAMPER'S 1:10
2440/2590MM HIGH CEILINGS
BULKHEAD DETAIL**
1:10

**CLADDING EXTERNAL
FINISH DETAIL**
1:10

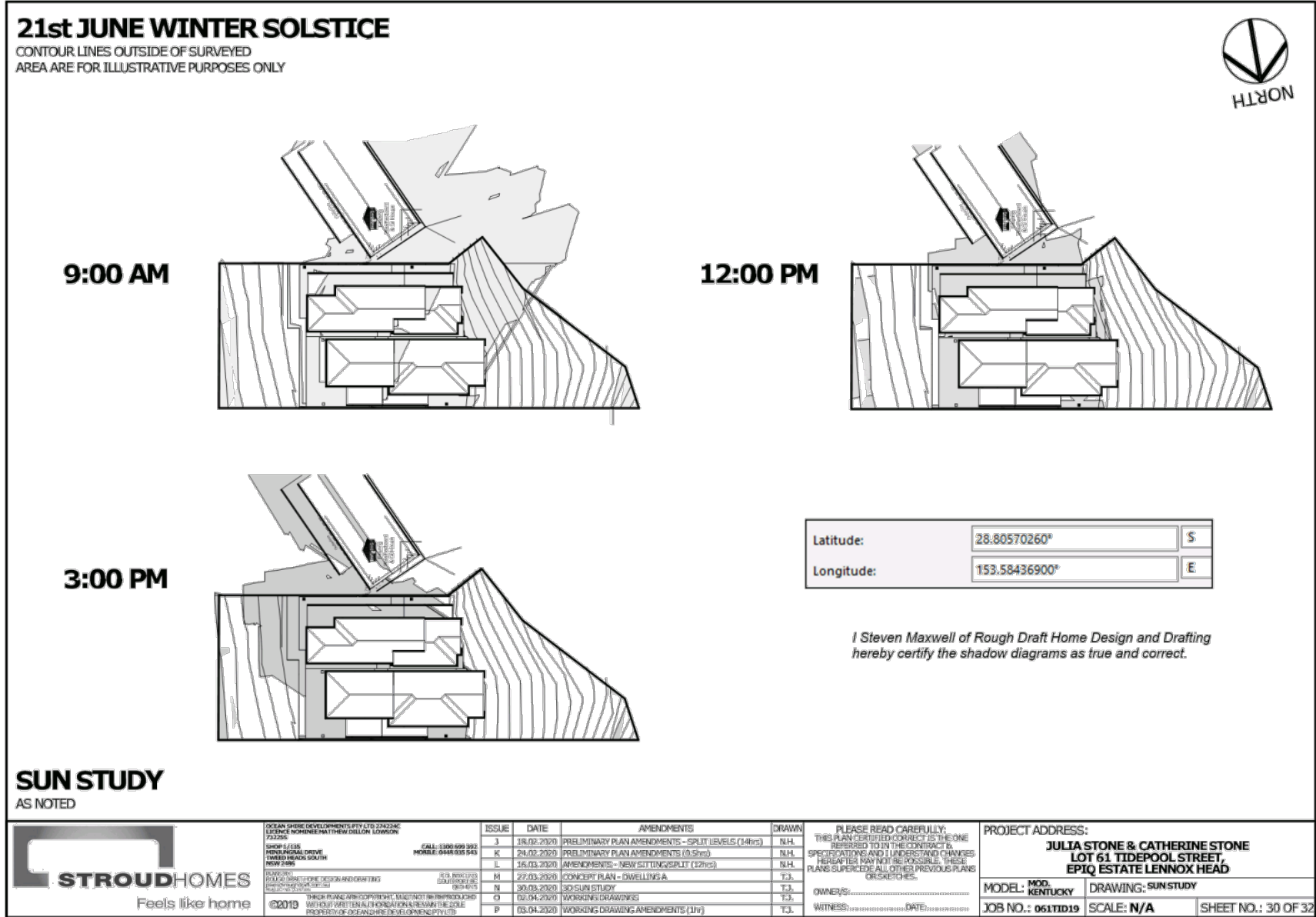
BRICKWORK
STUD FRAME
100
STUD FRAME
50x38mm TIMBER BATTEN TO PACK OUT CLADDING
42x42mm TIMBER STOP
SELECTED EXTERNAL CLADDING
42x42mm TIMBER STOP
STUD FRAME
50x38mm TIMBER BATTEN TO PACK OUT CLADDING
SELECTED EXTERNAL CLADDING
42x42mm TIMBER STOP
STUD FRAME
50x38mm TIMBER BATTEN TO PACK OUT CLADDING
62x42mm TIMBER STOP
SELECTED EXTERNAL CLADDING
42x42mm TIMBER STOP

SHOWER SCREEN
30mm SETDOWN TO CONCRETE FLOOR OF SHOWER. SEE DETAILS SECTION BELOW FOR FLASHING/WATERPROOFING DETAIL
100
FALL
SHOWER WASTE
FALL
CONCRETE SLAB
EDGE OF SETDOWN TO ALIGN WITH INSIDE FACE OF TIMBER WALL FRAMING
TIMBER FRAMING

**RECESSED SHOWER
BASE DETAIL**
1:10

STANDARD DETAILS
AS NOTED

<p>STROUDHOMES Feels like home</p>	<p>OCEAN SHIRE DEVELOPMENTS PTY LTD 22A/22B LICENSEE NUMBER: 241178911 (ISSUE 01/03/2019) SHDN 1/135 HINDLEIGH DRIVE TIDEPOOL HEADS SOUTH NSW 2256 CALL: 1300 699 992 MOBILE: 0418 035 913</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>AMENDMENTS</th> <th>DRAWN</th> </tr> </thead> <tbody> <tr> <td>J</td> <td>18.02.2020</td> <td>PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)</td> <td>N.H.</td> </tr> <tr> <td>K</td> <td>24.02.2020</td> <td>PRELIMINARY PLAN AMENDMENTS (0.5hrs)</td> <td>N.H.</td> </tr> <tr> <td>L</td> <td>16.03.2020</td> <td>AMENDMENTS - NEW SITTING/SPLIT (12hrs)</td> <td>N.H.</td> </tr> <tr> <td>M</td> <td>27.03.2020</td> <td>CONCEPT PLAN - DWELLINGS A</td> <td>T.J.</td> </tr> <tr> <td>N</td> <td>30.03.2020</td> <td>3D SUN STUDY</td> <td>T.J.</td> </tr> <tr> <td>O</td> <td>02.04.2020</td> <td>WORKING DRAWINGS</td> <td>T.J.</td> </tr> <tr> <td>P</td> <td>03.04.2020</td> <td>WORKING DRAWING AMENDMENTS (1hr)</td> <td>T.J.</td> </tr> </tbody> </table>	ISSUE	DATE	AMENDMENTS	DRAWN	J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.	K	24.02.2020	PRELIMINARY PLAN AMENDMENTS (0.5hrs)	N.H.	L	16.03.2020	AMENDMENTS - NEW SITTING/SPLIT (12hrs)	N.H.	M	27.03.2020	CONCEPT PLAN - DWELLINGS A	T.J.	N	30.03.2020	3D SUN STUDY	T.J.	O	02.04.2020	WORKING DRAWINGS	T.J.	P	03.04.2020	WORKING DRAWING AMENDMENTS (1hr)	T.J.	<p>PLEASE READ CAREFULLY: THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES.</p> <p>OWNER/S:</p> <p>WITNESS:</p>
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<p>PROJECT ADDRESS: JULIA STONE & CATHERINE STONE LOT 61 TIDEPOOL STREET, EPIQ ESTATE LENNOX HEAD</p>		<p>MODEL: MOD. KENTUCKY DRAWING: STANDARD DETAILS DWELLING B</p> <p>JOB NO.: 061TD19 SCALE: 1:50@A3 SHEET NO.: 28 OF 32</p>																																	

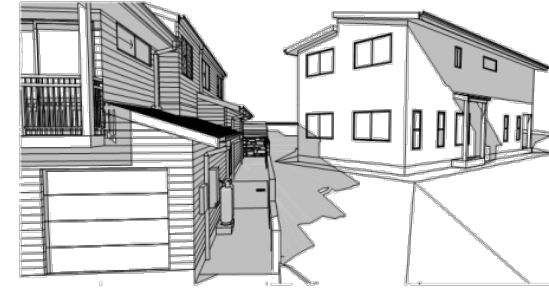


21st JUNE WINTER SOLSTICE

CONTOUR LINES OUTSIDE OF SURVEYED AREA ARE FOR ILLUSTRATIVE PURPOSES ONLY



12:00 PM



2:00 PM



1:00 PM



3:00 PM

3D SUN STUDY (WEST VIEW)

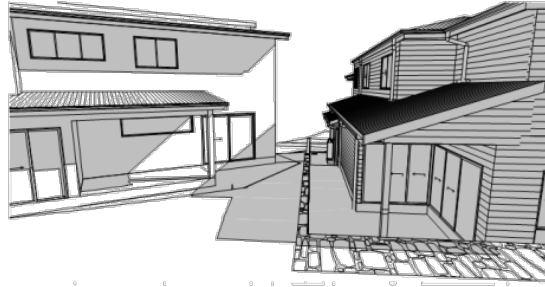
AS NOTED



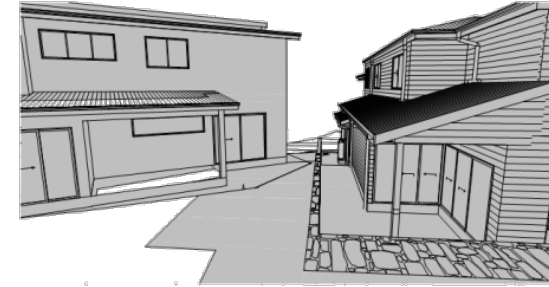
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 LICENSE NUMBER: MATTHEW DILLON, LICENSE NO. 72325A
 SHOPS 1/135
 HINDENBURG DRIVE
 TIDEPOOL HEADS SOUTH
 NSW 2256
 CALL: 1300 699 992
 MOBILE: 0448 035 913
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21st JUNE WINTER SOLSTICE

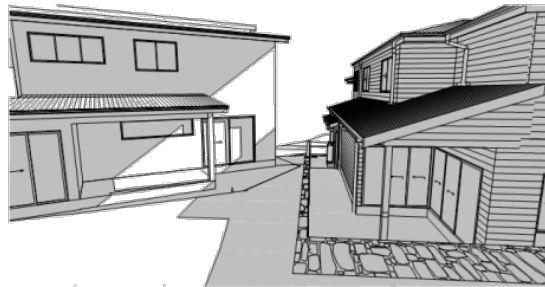
CONTOUR LINES OUTSIDE OF SURVEYED AREA ARE FOR ILLUSTRATIVE PURPOSES ONLY



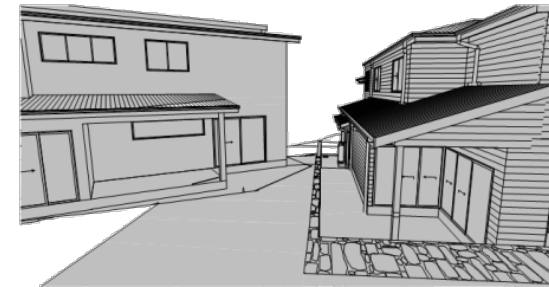
12:00 PM



2:00 PM



1:00 PM



3:00 PM

3D SUN STUDY (EAST VIEW)

AS NOTED



OCEAN SHIRE DEVELOPMENTS PTY LTD 2262246
 LICENSE NUMBER: 64117891 DILLON LINDSON 732256
 SHOP 1/135
 HINDENBURG DRIVE
 TWEED HEADS SOUTH
 NSW 2486
 CALL: 1300 699 992
 MOBILE: 0448 035 913
 J.G. INCORPORATED
 200/100/100
 2486 4915
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ISSUE	DATE	AMENDMENTS	DRAWN
J	18.02.2020	PRELIMINARY PLAN AMENDMENTS - SPLIT LEVELS (14hrs)	N.H.
K	24.02.2020	PRELIMINARY PLAN AMENDMENTS (0.5hrs)	N.H.
L	16.03.2020	AMENDMENTS - NEW SITTING/SPLIT (12hrs)	N.H.
M	27.03.2020	CONCEPT PLAN - DWELLING A	T.J.
N	30.03.2020	3D SUN STUDY	T.J.
O	02.04.2020	WORKING DRAWINGS	T.J.
P	03.04.2020	WORKING DRAWING AMENDMENTS (1hr)	T.J.

PLEASE READ CAREFULLY:
 THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE CONTRACT & SPECIFICATIONS AND UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE. THESE PLANS SUPERCEDE ALL OTHER PREVIOUS PLANS OR SKETCHES.
 OWNER/S:.....
 WITNESS:.....DATE:.....

PROJECT ADDRESS:
**JULIA STONE & CATHERINE STONE
 LOT 61 TIDEPOOL STREET,
 EPIQ ESTATE LENNOX HEAD**
 MODEL: MOD. KENTUCKY DRAWING: 3D SUN STUDY (EAST VIEW)
 JOB NO.: 061TD19 SCALE: N/A SHEET NO.: 32 OF 32